



Proposal to Use Building

Please fill out this form if you propose to use either the old Lafayette library or the old doctor's office at 949 Moraga Road. This form should be viewed as a guide; feel free to amend or append this form with other or different information that better describes what you seek to accomplish. Please send your completed form to sfalk@lovelafayette.org.

Completed forms must be submitted by January 1, 2014.

Organization	City of Lafayette
Project Name	City Offices
Requested By	Steven Falk, City Manager
Phone / Email	925-284-1968 sfalk@lovelafayette.org

Which Building Do You Want to Use (Circle One or Both):

Old Library

949 Moraga Road
(Old Doctors Office)

Mission Statement of Your Organization

[State your organization's mission statement.]

Lafayette was incorporated for the preservation and enhancement of the semi-rural character of the community. Lafayette shall endeavor to maintain the nature of the community by using a volunteer system of commissions and committees to assist a small staff whose number is consistent with the services provided. Limited services and a conservative fiscal policy shall be Lafayette's practice.

How Will Your Organization Use the Building?

[Summarize the opportunity that your organization wants to explore]

The City's administrative offices are currently located in the Desco Plaza office park on the west end of Mt. Diablo Boulevard. This proposal would move all of the City's administrative functions to the Old Library. A companion proposal would move the police services into the Doctors Office at 949 Moraga Road.

Staff has completed a preliminary space evaluation (attached) to determine if the Old Library is large enough to accommodate the use. The study suggests that an addition of 1,000 s.f. to the back of the building would be needed to accommodate the administrative operations.

Likewise, staff has also completed a very preliminary evaluation (see attached) of the parking lot to determine if there is an opportunity to increase the number of spaces. It appears that the number could be increased from the current 39 to a maximum of 49.

Other Details:

<i>Proposed days and hours of operation.</i>	<i>M – F, 8AM to 10PM</i>
<i>Minimum and maximum number of staff members in the building during operating hours</i>	<i>25 staff members</i>
<i>Minimum and maximum number of patrons in the building at peak operating hour.</i>	<i>15 visitors</i>
<i>Number of parking spaces required.</i>	<i>40 parking spaces</i>
<i>Does your use require that permanent changes be made to the building? If so, describe.</i>	<i>Yes. The building would need to be renovated to accommodate the new functions.</i>
<i>For how many months / years would you expect to use the facility? If perpetual, write "perpetual."</i>	<i>Perpetual.</i>
<i>Will any chemicals be used for your operation, including cleaning materials? If so, describe.</i>	<i>Ordinary cleansers.</i>
<i>Expected maximum noise level:</i>	<i>Quiet.</i>

How Will the Community Benefit from Your Organization's Use of the Space?

[Describe how the community will benefit]

The City would have higher profile, more easily identifiable civic facilities.

The move is anticipated by the Lafayette's Downtown Specific Plan (DSP), which was approved by the City Council in 2010 after more than 130 public hearings. The DSP breaks the downtown into five districts, with the Old Library located in the so-called Plaza District. The DSP says that "civic and cultural uses will be encouraged here."

Program 2.13.2 of the DSP goes on to state that, "If the City Office and/or Police Services Offices. . . relocate, they should be moved to the Plaza District or the Downtown Retail District where they will be in the heart of the downtown with access to transit."

There would be taxpayer savings.

The most compelling reason to move the city offices to this location is to save taxpayer money. It is typically more cost efficient for cities to own, rather than rent, their facilities. There are three reasons why this is true:

1. **Cities can borrow at lower interest rates.** Because cities can issue tax-exempt bonds, the cost to borrow money is lower than private loans.
2. **Cities are exempted from paying property taxes.** The savings on a \$5M property-and-building would be up to \$75,000 annually.
3. **Cities have little or no business risk.** Unlike businesses, which come and go, cities rarely disincorporate. Because municipalities will be around decades if not centuries, long-term investments are less risky.

Most cities therefore own their own facilities, and it explains to some large extent why Lafayette owns and operates, rather than rents, the Lafayette Library and Learning Center and the Lafayette Community Center.

For these reasons, the 2008 all-volunteer Lafayette Finance Review Committee recommended that the City purchase city offices, writing in its recommendations to the City Council:

Since Lafayette is obligated to purchase the old library from the county, an opportunity is created to reduce office space expenses. If the City had purchased office space in 1992 at the time of the (original) Finance Committee recommendations, we would be saving approximately \$50,000 per year on office costs. Current studies suggest net present value (NPV) savings of \$1.9M over 30 years for the purchase option. The City should further fund the renovation of the library via Certificates of Participation and release the balance of the City Offices Fund to the pavement management program.

Preserve the mid-century modern architecture of the Old Library.

While it may not evoke the woodsy semi-rural character of many Lafayette buildings, the Old Library is a fine example of mid-century modern architecture. This style, created in reaction to the gloomy horrors of the Second World War, built structures with ample windows and open floor plans with the intention to open up interior spaces and bring the outdoors in by using a then-groundbreaking post and beam architectural design that eliminated bulky support walls in favor of walls seemingly made of glass. The Old Library is beautiful in its way, and may be Lafayette's best example of this architectural style.



Financial Projections: Start Up Costs

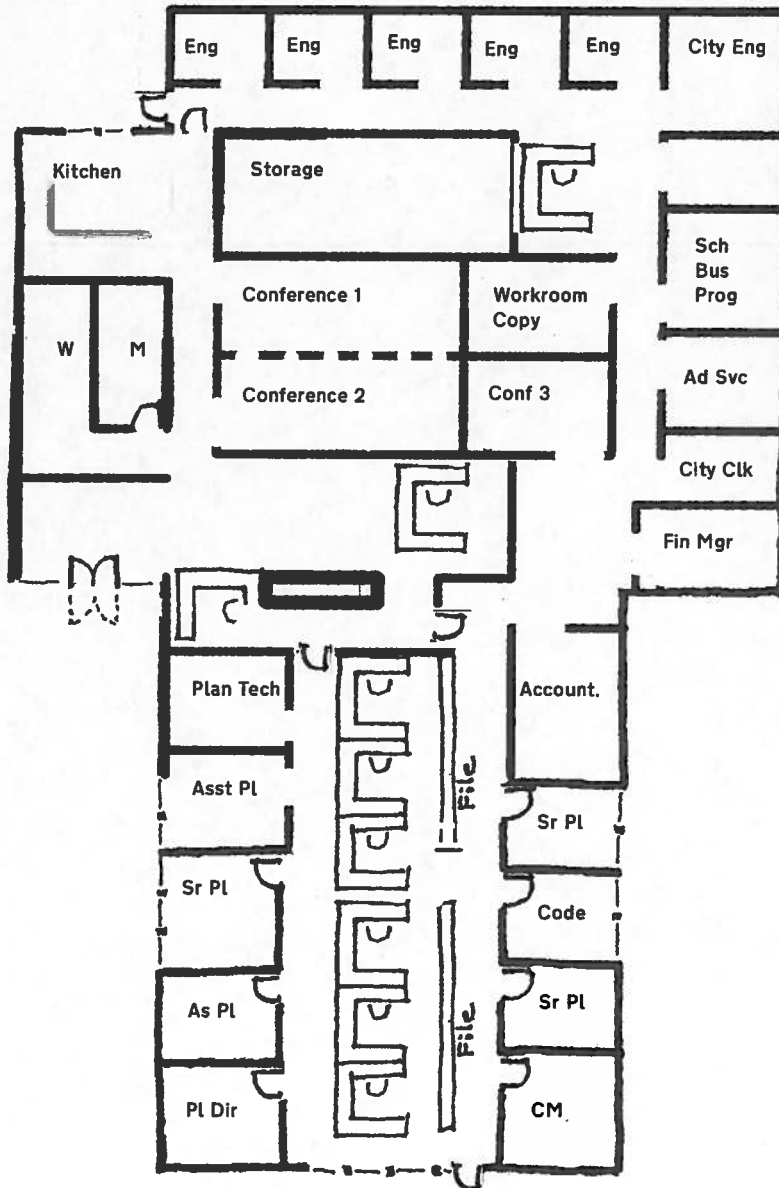
Use the table below to describe the expected costs for your organization to occupy the building and begin operation, and your sources to fund the start-up.

Uses	Amount
Structural Rehabilitation including seismic	\$304,221
Demolition	\$88,524
Curtain Wall & Window Renovation	\$63,810
Roof Repair and Replacement	\$91,943
Entry, Site, Parking Lot Repair	\$199,487
Building Systems Replacement	\$519,972
Tenant Improvements	\$324,567
General Conditions 10%	\$159,252
Contractor Overhead and Profit 12%	\$210,213
Design and Contingency 15%	\$294,298
Inflation 21%	\$473,820
<i>Subtotal Estimated Start Up Cost</i>	\$2,730,108
Sources	
Certificate of Participation	\$2,730,108
Describe source	
Describe source	
<i>Subtotal Estimated Start Up Resources</i>	
Net Startup Cost	\$2.7M
Expected Start Up Subsidy from City (if any)	

Floor Plan

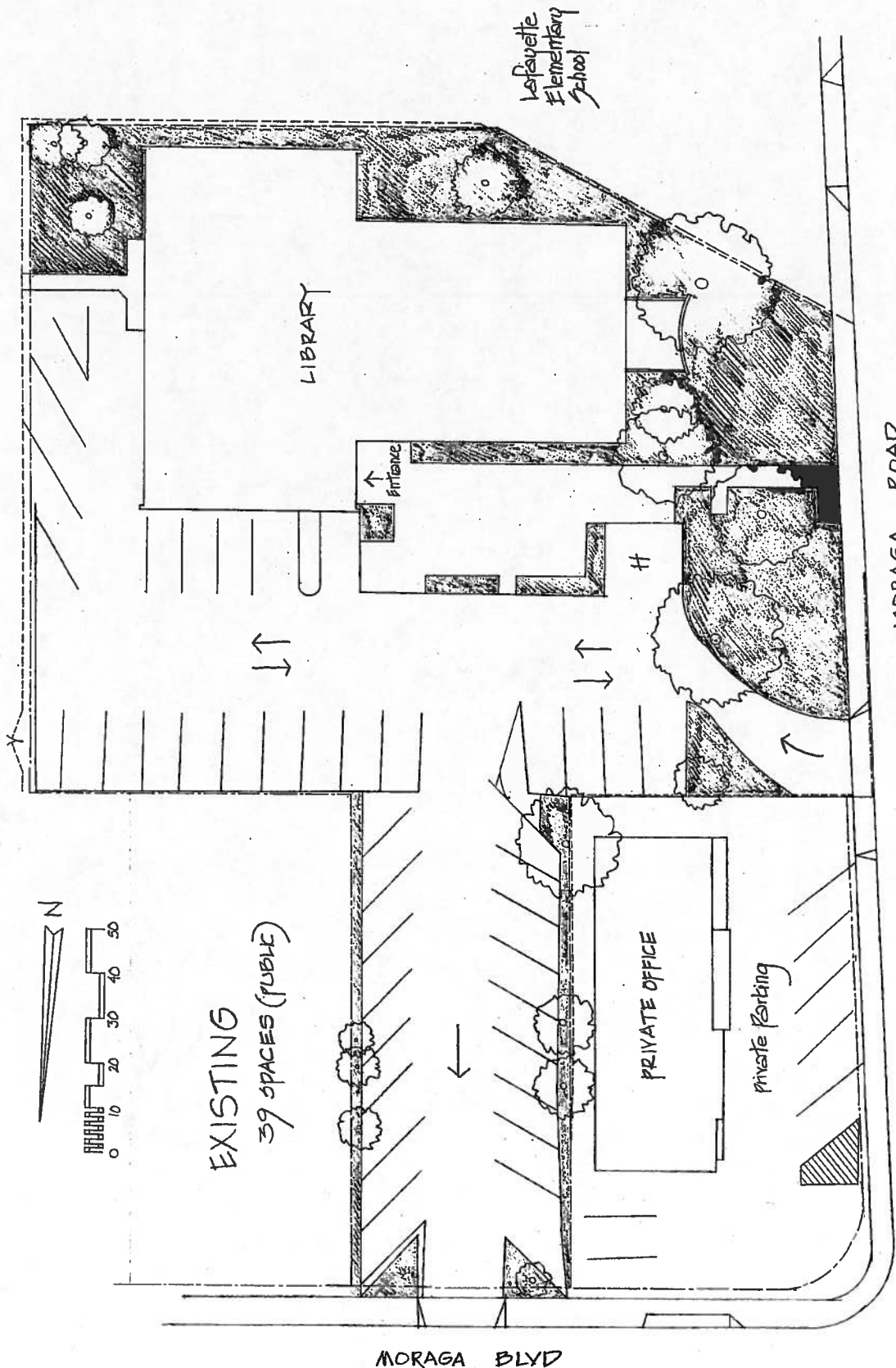
Use one or both of the floor plans below to provide a rough sense of how the spaces will be used.

BUILDING FLOOR PLAN – Old Lafayette Library



PROPOSED FLOOR PLAN

$\frac{1}{16}'' = 1'-0''$



Fayette
Elementary
School

LIBRARY

Entrance

#

EXISTING
39 SPACES (PUBLIC)

PRIVATE OFFICE

private parking

MDRAGA ROAD

MORAGA BLYD



LaBayette
Elementary
School

CITY OFFICES

Private

PRIVATE OFFICE

ALTERNATIVE 2
49 SPACES

N



MORAGA ROAD

MORAGA BLVD

