



Proposal to Use Building

Please fill out this form if you propose to use either the old Lafayette library or the old doctor's office at 949 Moraga Road. This form should be viewed as a guide; feel free to amend or append this form with other or different information that better describes what you seek to accomplish. Please send your completed form to sfalk@lovelafayette.org.

Completed forms must be submitted by January 1, 2014.

Organization	City of Lafayette
Project Name	Parking Garage
Requested By	Steven Falk, City Manager
Phone / Email	925-284-1968 sfalk@lovelafayette.org

Which Building Do You Want to Use (Circle One or Both):

Old Library

949 Moraga Road
(Old Doctors Office)

Mission Statement of Your Organization

[State your organization's mission statement.]

Lafayette was incorporated for the preservation and enhancement of the semi-rural character of the community. Lafayette shall endeavor to maintain the nature of the community by using a volunteer system of commissions and committees to assist a small staff whose number is consistent with the services provided. Limited services and a conservative fiscal policy shall be Lafayette's practice.

How Will Your Organization Use the Building?

[Summarize the opportunity that your organization wants to explore]

This proposal would place a two-level parking structure, with 160 parking spaces, on the site at 949 Moraga Road. See attached diagram.

Other Details:

<i>Proposed days and hours of operation.</i>	<i>24 hours, 7 Days</i>
<i>Minimum and maximum number of staff members in the building during operating hours</i>	<i>0</i>
<i>Minimum and maximum number of patrons in the building at peak operating hour.</i>	<i>160</i>
<i>Number of parking spaces required.</i>	<i>160</i>
<i>Does your use require that permanent changes be made to the building? If so, describe.</i>	<i>Yes. A parking garage would need to be constructed.</i>
<i>For how many months / years would you expect to use the facility? If perpetual, write "perpetual."</i>	<i>Perpetual.</i>
<i>Will any chemicals be used for your operation, including cleaning materials? If so, describe.</i>	<i>Ordinary cleansers.</i>
<i>Expected maximum noise level:</i>	<i>Normal.</i>

How Will the Community Benefit from Your Organization's Use of the Space?

[Describe how the community will benefit]

More convenient shopping; improved traffic on Moraga Road.

The large garage would be used for employee parking, and could serve the employees of LaFiesta Square, Lafayette School, the Plaza Way shops, and the Safeway / Whole Foods shopping center. Moving those cars out of the retail parking lots would free up parking for customers in all of those shopping areas.

Likewise, moving the parked cars out of the horseshoe parking lot at Lafayette School would provide space for an engineered traffic pick up / drop off solution that would, in turn, move cars off of Moraga Road, thus improving traffic on that busy corridor.

The challenge for this project: how to move cars between the garage and the northbound lanes of Moraga Road.

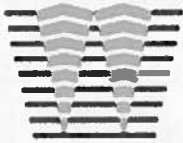
Financial Projections: Start Up Costs

Use the table below to describe the expected costs for your organization to occupy the building and begin operation, and your sources to fund the start-up.

Uses	Amount
Base Construction Cost	\$2,522,476
Misc. Project Cost	\$126,124
GC + OH&P + Insurance	\$264,860
Design Contingency	\$291,346
Escalation	\$128,192
Total Construction Cost	\$3,332,998
Sources	
Certificate of Participation	\$3,332,998

This project would be funded by the proceeds generated by the City's parking meters and parking citations. The City's parking fund currently nets about \$200,000 annually from these sources.

If the City were to issue \$3.3M in COP's, presuming a 5% interest rate and a 30 year term, the annual debt service would be \$204,447 – just about equal to the City's current annual net revenue stream from the parking fund.

**WATRY DESIGN, INC.**

Project: Parking Structure
By: City of Lafayette
Date: 12/20/2013

Opinion of Probable Construction Cost

Your Parking Structure is located in or near the city of **Oakland**, in the state of **California**, USA.

Project Data:

Total number of Levels:	2
Number of levels below grade:	None
Structural System:	Short Span
Lateral System:	Shear Walls
Seismic Zone:	Very High
Type of Foundation:	Shallow Foundation
Facade / Finish (Lowest 1 to 10 Best):	5
Number of Stalls:	160
Efficiency:	380 sq. ft. per stall
Photovoltaic (PV) Panels (% of roof area):	None
Total Building Area:	60,800 sq.ft.

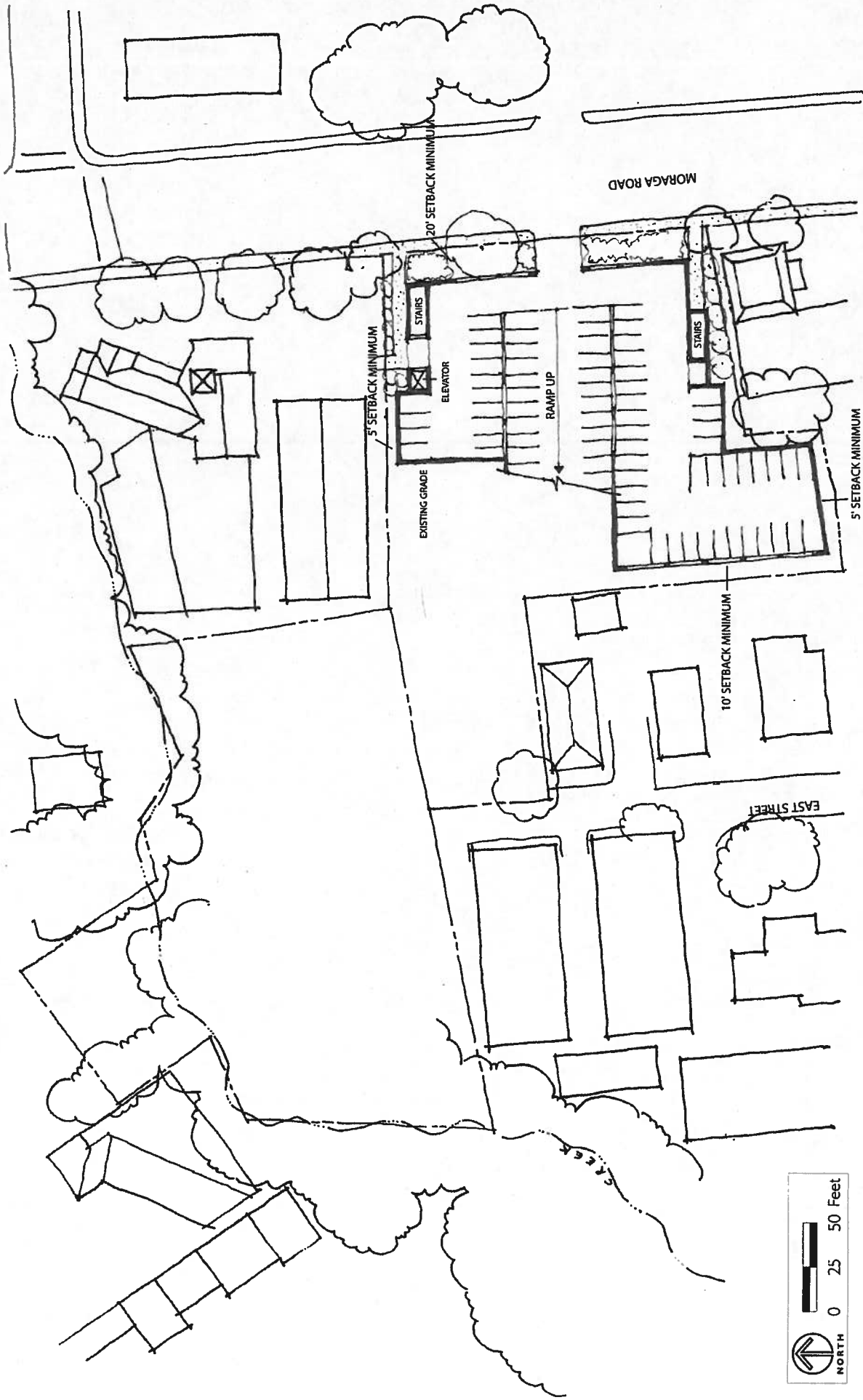
Cost Data:

Current Construction Market Condition:	Normal
Base Construction Cost:	\$2,522,476.00
Misc. Project Cost: (5.00 % x \$2,522,476.00)	\$126,124.00
GC + OH&P + Insurance: (10.00 % x \$2,648,600.00)	\$264,860.00
Design Contingency: (10.00 % x \$2,913,460.00)	\$291,346.00
Escalation: (4.00 % x \$3,204,806.00)	\$128,192.00
Total Construction Cost:	\$3,332,998.00
Cost per square foot:	\$54.82
Cost per Stall:	\$20,831.24

Note:

IT'S NOT THE JOURNEY. IT'S THE PARKING.

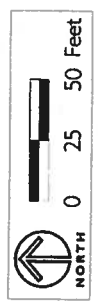
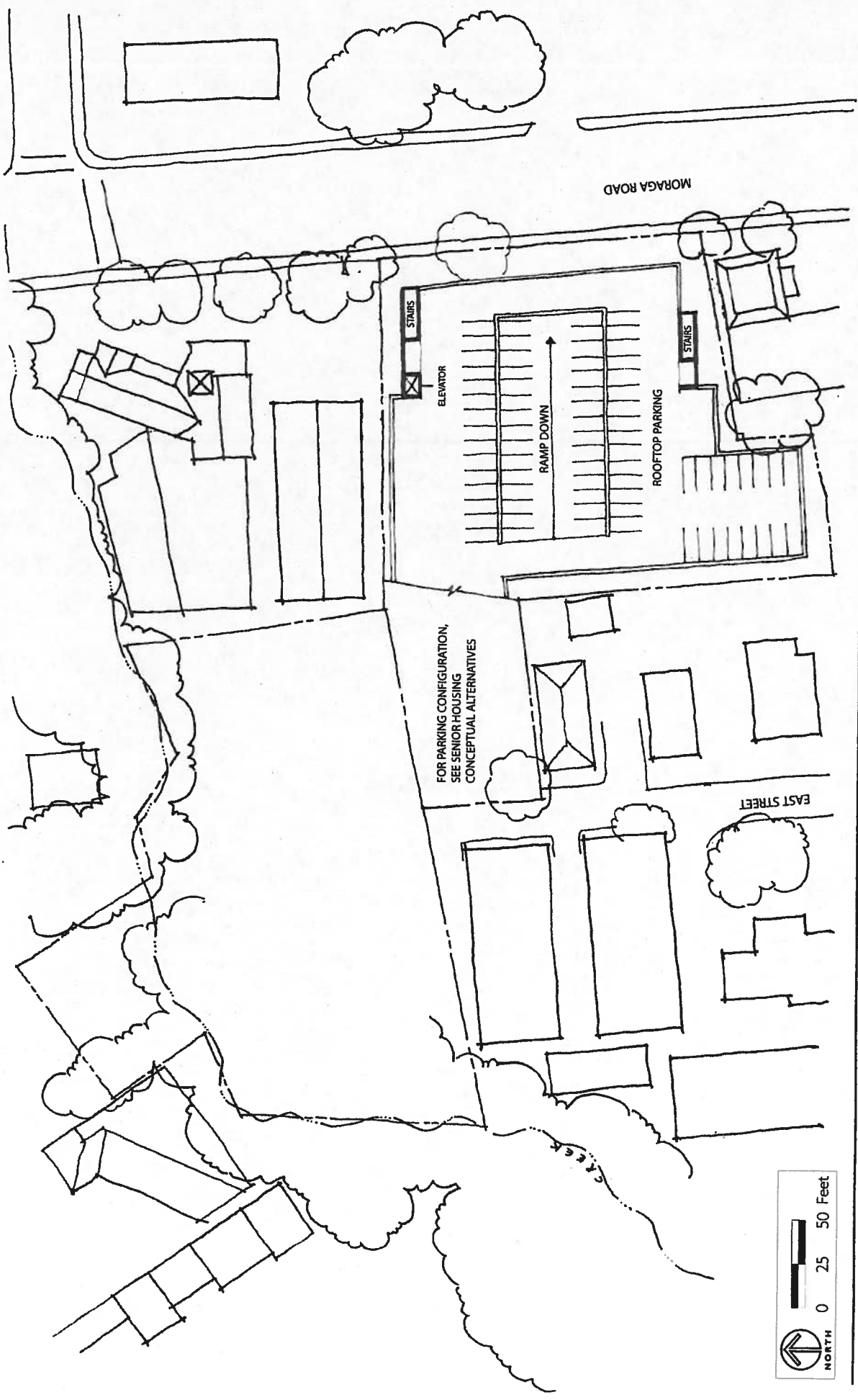
Watry Design, Inc. is pleased to provide our opinion of the probable construction cost for the proposed project. Please note that Watry Design, Inc. developed our database of unit costs from our extensive experience working on similar structures. Recognizing that Watry has no control over the cost of materials, equipment, labor, or an individual contractor's method of determining prices, we cannot offer guarantees that the actual construction costs will not vary from this statement of opinion. The costs shown have allowed for reasonable contractor fees but do not include construction contingencies, designer's fees,



Design, Community & Environment
Berkeley, California

ALL PARKING STRUCTURE ALTERNATIVE - PLAN LEVEL 0
FEBRUARY 16, 2006

Downtown Conceptual Parking
and Development Studies
City of Lafayette



Design, Community & Environment
Berkeley, California

ALL PARKING STRUCTURE ALTERNATIVE - PLAN LEVEL 30
FEBRUARY 16, 2006

Downtown Conceptual Parking
and Development Studies
City of Lafayette