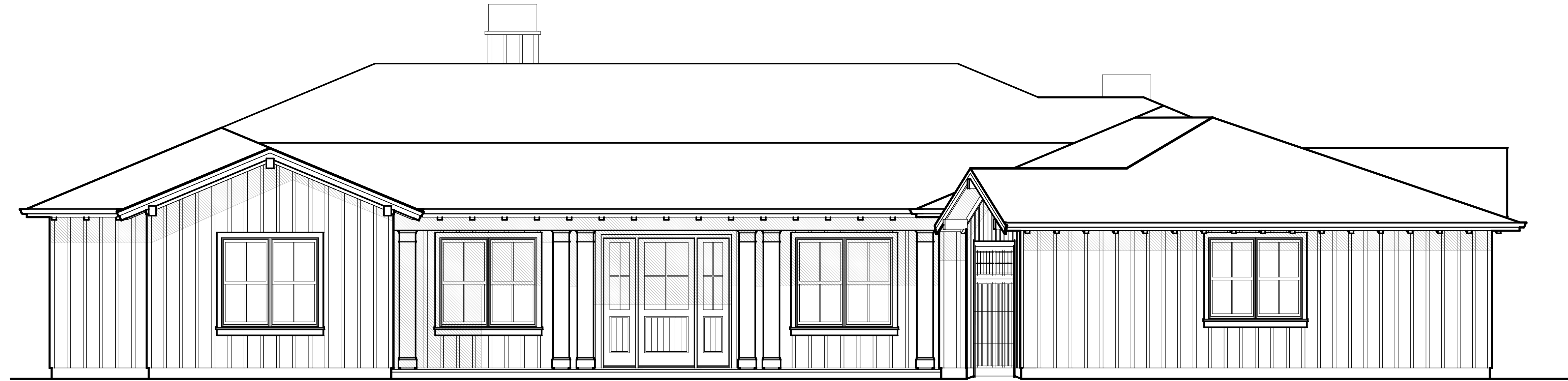
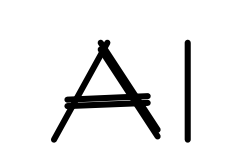
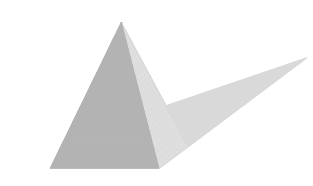


A NEW RESIDENCE FOR:
MARK AND SARAH CUSUMANO
 634 HUNTLEIGH DRIVE, LAFAYETTE



<p>PROJECT DIRECTORY</p>	<p>LOCATION MAP</p>	<p>PROJECT DATA</p>	<p>SHEET INDEX</p>																																																																																														
<p>OWNER: MARK AND SARAH CUSUMANO 634 HUNTLEIGH DRIVE LAFAYETTE, CA 94549 PHONE: (415) 307-2642</p> <p>CONTACT: MARK CUSUMANO</p> <p>DESIGNER: TALON DESIGN GROUP, INC. 222 RAILROAD AVE., SUITE A DANVILLE, CALIFORNIA 94526 PHONE: (925) 855-1575</p> <p>CONTACT: ALAN PAGE, PRINCIPAL</p> <p>CIVIL ENGINEER: ALEXANDER & ASSOCIATES 147 OLD BERNAL AVE., SUITE 10 PLEASANTON, CA 94566 PHONE: (925) 462-2255</p> <p>CONTACT: DARRYL ALEXANDER</p> <p>LANDSCAPE ARCHITECT: PETER KOENIG DESIGNS 1451 DANVILLE BLVD., #108 ALAMO, CA 94501 PHONE: (925) 743-4504</p> <p>CONTACT: PETER KOENIG</p> <p>SOILS ENGINEER: GFK ASSOCIATES 11828 DUBLIN BLVD., SUITE D DUBLIN, CA 94568 PHONE: (925) 829-0428</p> <p>CONTACT: GUS KHENAISSER, G.E.</p>	<p>LOT AREA : 24,600 SF ZONED: R-10 A.P.N.: 231-074-003 MAX. HT. ALLOWED: 35'</p> <p>SITE SETBACKS:</p> <table border="1"> <thead> <tr> <th></th> <th>MIN.</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>FRONT:</td> <td>20'-0"</td> <td>20'-0" (+/-)</td> </tr> <tr> <td>SIDE:</td> <td>15'-0"/10'-0"</td> <td>15'-2 1/8"/10'-0" (+/-)</td> </tr> <tr> <td>REAR:</td> <td>15'-0"</td> <td>147'-8" (+/-)</td> </tr> </tbody> </table> <p>FLOOR AREA:</p> <table border="1"> <tbody> <tr> <td>MAIN LEVEL:</td> <td>5,274 SF</td> </tr> <tr> <td>COVD PORCH/PATIOS:</td> <td>303 SF</td> </tr> <tr> <td>3-CAR GARAGE:</td> <td>444 SF</td> </tr> <tr> <td>GROSS FLOOR AREA:</td> <td>6,526 SF</td> </tr> <tr> <td>LOSSIA:</td> <td>288 SF</td> </tr> </tbody> </table> <p>IMPERVIOUS SURFACES</p> <table border="1"> <tbody> <tr> <td>HOUSE</td> <td>6,126 SF</td> </tr> <tr> <td>PATIOS/ WALKWAYS</td> <td>3,010 SF</td> </tr> <tr> <td>TOTAL</td> <td>9,136 SF</td> </tr> </tbody> </table> <p>CUT: 504 CY FILL: 45 CY</p> <p>LOT NET AREA COVERAGE:</p> <table border="1"> <tbody> <tr> <td>IMPERVIOUS AREA</td> <td>= 9,136 SF</td> <td>30.8%</td> </tr> <tr> <td>NET LOT AREA</td> <td>= 29,600 SF</td> <td></td> </tr> </tbody> </table> <p>FLOOR AREA RATIO (F.A.R.):</p> <table border="1"> <tbody> <tr> <td>BUILDING AREA</td> <td>= 6,126 SF</td> <td>20.6%</td> </tr> <tr> <td>NET LOT AREA</td> <td>= 29,600 SF</td> <td></td> </tr> </tbody> </table>		MIN.	PROVIDED	FRONT:	20'-0"	20'-0" (+/-)	SIDE:	15'-0"/10'-0"	15'-2 1/8"/10'-0" (+/-)	REAR:	15'-0"	147'-8" (+/-)	MAIN LEVEL:	5,274 SF	COVD PORCH/PATIOS:	303 SF	3-CAR GARAGE:	444 SF	GROSS FLOOR AREA:	6,526 SF	LOSSIA:	288 SF	HOUSE	6,126 SF	PATIOS/ WALKWAYS	3,010 SF	TOTAL	9,136 SF	IMPERVIOUS AREA	= 9,136 SF	30.8%	NET LOT AREA	= 29,600 SF		BUILDING AREA	= 6,126 SF	20.6%	NET LOT AREA	= 29,600 SF		<table border="1"> <thead> <tr> <th colspan="2">ARCHITECTURAL DRAWINGS</th> <th colspan="2">LANDSCAPE DRAWINGS</th> <th colspan="2">CIVIL DRAWINGS</th> </tr> </thead> <tbody> <tr> <td>A1</td> <td>COVER SHEET</td> <td>L-1</td> <td>SITE PLAN</td> <td>C1</td> <td>TOPOGRAPHICAL SURVEY</td> </tr> <tr> <td>A2</td> <td>SITE PLAN</td> <td>L-2</td> <td>PLANTING PLAN</td> <td>C2</td> <td>PRELIM. GRADING & DRAINAGE PLAN</td> </tr> <tr> <td>A3</td> <td>FLOOR PLAN</td> <td>L-3</td> <td>DETAILS</td> <td></td> <td></td> </tr> <tr> <td>A4</td> <td>ELEVATIONS</td> <td>L-4</td> <td>DETAILS</td> <td></td> <td></td> </tr> <tr> <td>A5</td> <td>ELEVATIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A6</td> <td>BUILDING SECTIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A7</td> <td>CONTEXT MAP</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A8</td> <td>ROOF PLAN</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	ARCHITECTURAL DRAWINGS		LANDSCAPE DRAWINGS		CIVIL DRAWINGS		A1	COVER SHEET	L-1	SITE PLAN	C1	TOPOGRAPHICAL SURVEY	A2	SITE PLAN	L-2	PLANTING PLAN	C2	PRELIM. GRADING & DRAINAGE PLAN	A3	FLOOR PLAN	L-3	DETAILS			A4	ELEVATIONS	L-4	DETAILS			A5	ELEVATIONS					A6	BUILDING SECTIONS					A7	CONTEXT MAP					A8	ROOF PLAN					
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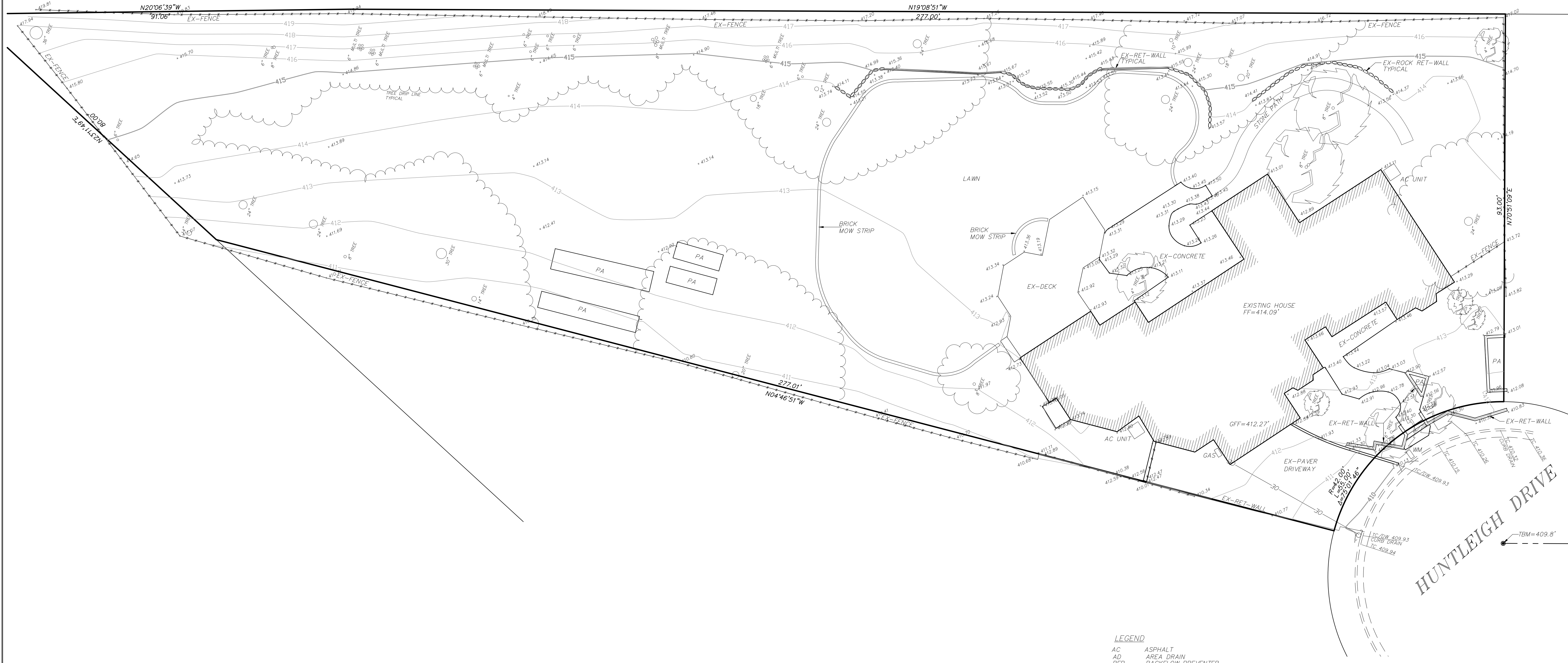
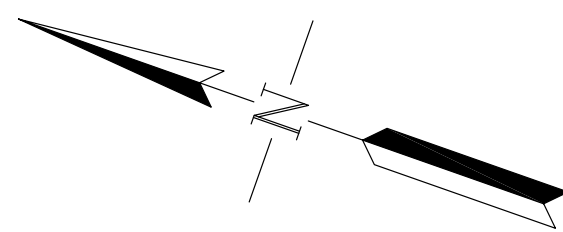
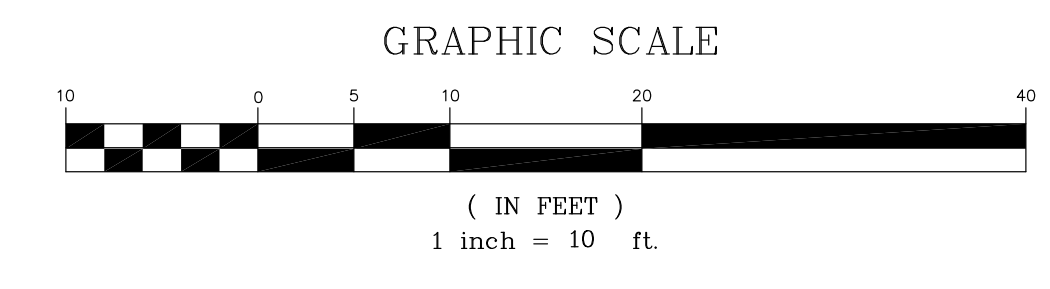


REVISIONS	BY

SURVEYORS
 ENGINEERS
 PLANNERS
ALEXANDER & ASSOCIATES INC.
 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

SHEET TITLE
**TOPOGRAPHIC SURVEY
 634 HUNBLEIGH DRIVE
 LAFAYETTE CALIF**

PROJECT NAME	TOPOGRAPHIC SURVEY	
DATE	6-20-13	
SCALE	1"=10'	
DRAWN	RD	
JOB #	13147	
DRAWING	CAD	
SHEET	1	



- LEGEND**
- AC ASPHALT
 - AD AREA DRAIN
 - BFP BACKFLOW PREVENTER
 - BW BOTTOM OF WALL
 - CATV CABLE TELEVISION
 - CO CLEAN OUT
 - COM COMMUNICATIONS
 - CONC CONCRETE
 - DI DRAIN INLET
 - E ELECTRICAL
 - EP EDGE OF PAVEMENT
 - FDC FIRE DEPT. CONNECTION
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FH FIRE HYDRANT
 - FS FINISHED SURFACE
 - G GAS
 - GR GRATE
 - GV GAS VALVE
 - INV INVERT
 - JP JOINT POLE
 - LS LANDSCAPE
 - MH MAN HOLE
 - PA PLANTER AREA
 - PBELL PACIFIC BELL
 - PIV POST INDICATOR VAVLE
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - TBM TEMPORARY BENCHMARK
 - TC TOP OF CURB
 - TS TRAFFIC SIGNAL
 - TW TOP OF WALL
 - W WATER
 - WM WATER METER
 - WV WATER VALVE
 - ? UNKNOWN UTILITY
 - △ FIRE HYDRANT
 - + ELEVATION / GRADE
 - ★ LIGHT

BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 2511 (67 M 8), CONTRA COSTA COUNTY RECORDS.

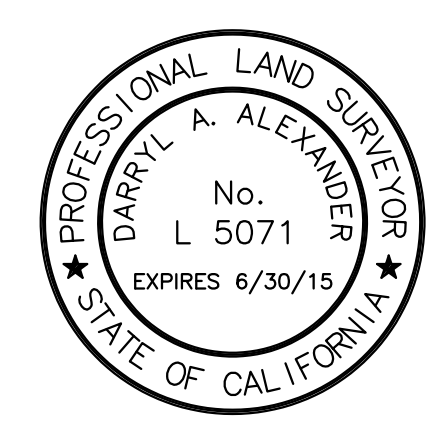
BASIS OF ELEVATIONS
 CONTRA COSTA COUNTY DATUM (NAVD 88).
 TEMPORARY BENCHMARK (TBM): MONUMENT DISC IN HUNBLEIGH DRIVE
 ELEV. = 409.8'

NOTE: THE BUILDING LINES SHOWN HEREON WERE ESTABLISHED FROM THE OUTSIDE FINISHED SURFACE OR TRIM. THE LOCATION OF THE FOUNDATION MAY DIFFER.

NOTE: LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

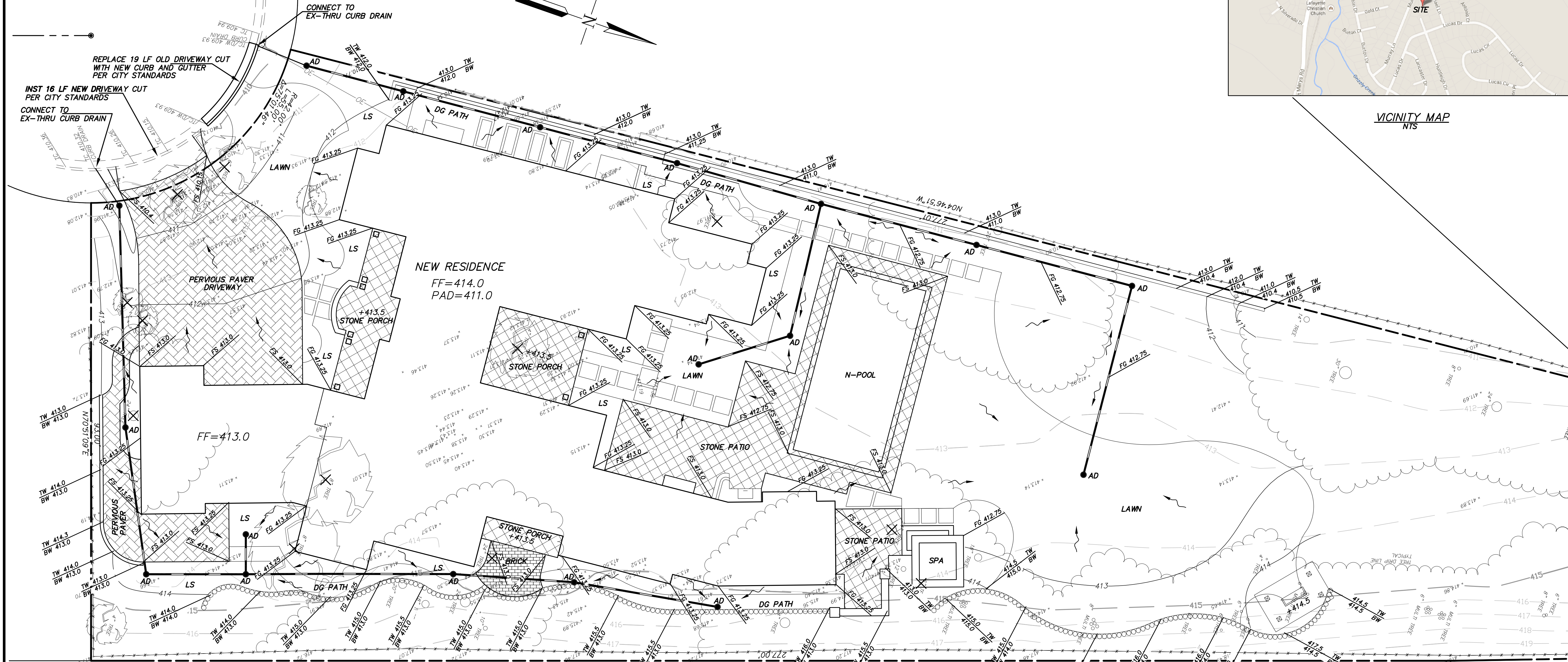
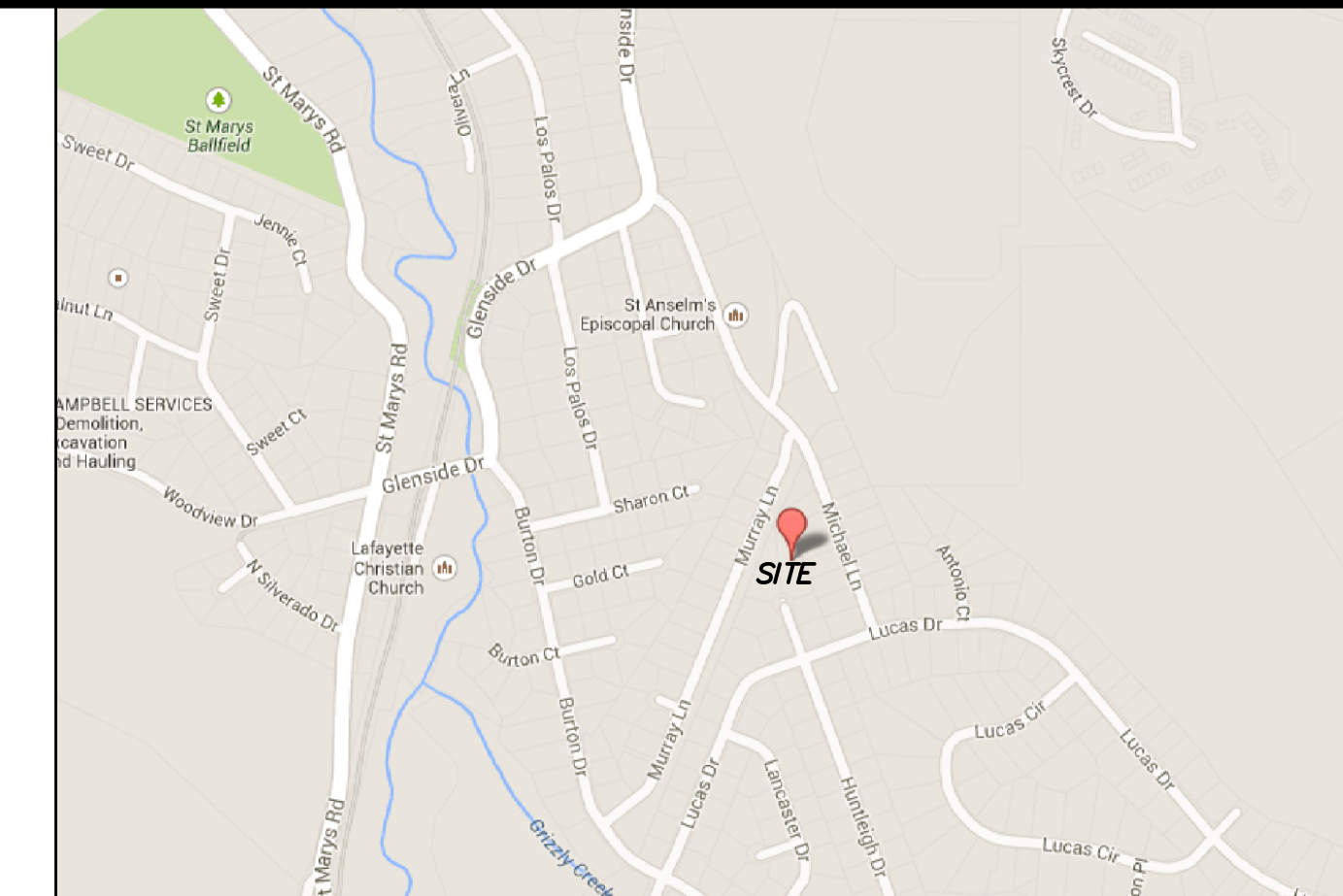
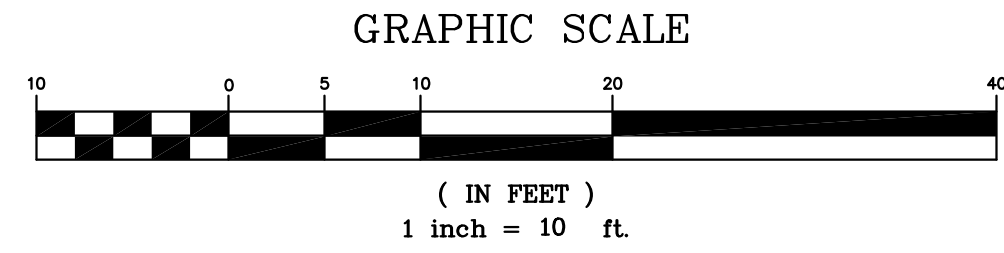
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF MARK CUSUMANO IN JUNE 2013.

DARRYL ALEXANDER
 L.S. NO. 5071
 LICENSE EXPIRES JUNE 30, 2015



NOTE: THIS IS A TOPOGRAPHIC SURVEY ONLY, NOT A BOUNDARY SURVEY.

HUNTLEIGH DRIVE



GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE TOWN OF LAFAYETTE STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL BE DISCHARGED TO SPASH BLOCKS AND SHALL DRAIN AWAY FROM THE STRUCTURE.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. (SEE DETAILS)
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 100' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
- THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING THE STORM DRAIN, PERIMETER DRAIN, AND DOWNSPOUTS.

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 2511 (67' M & B), CONTRA COSTA COUNTY RECORDS.

BASIS OF ELEVATIONS
CONTRA COSTA COUNTY DATUM (NAVD 88).
TEMPORARY BENCHMARK (TBM):
MONUMENT DISC IN HUNTLEIGH DRIVE
ELEV. = 409.8'

PAD TO FINISH FLOOR DISTANCE
TO BE VERIFIED BEFORE CONSTRUCTION.
SEE ARCHITECT'S PLAN FOR ADDITIONAL INFORMATION AND LIMITS OF DEMOLITION.

* PER THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S CLEAN WATER (C-3) REQUIREMENTS, WATER FROM THE ROOF AND HARDSCAPE ARE INTENDED TO RUN THROUGH LANDSCAPING BEFORE ENTERING STORM DRAIN SYSTEM.

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- 100 — EX CONTOUR
- 100 — NEW CONTOUR
- SWALE
- PROPERTY LINE
- × REMOVE EXIST. TREE

ABBREVIATIONS

- AD AREA DRAIN
- CO CLEAN-OUT
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- BS BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GR TOP OF GRADE
- HP HIGHPOINT
- INV INVERT
- OFF GARAGE FINISHED FLOOR
- LS LANDSCAPED AREA
- PA PLANTER AREA
- SWI STORM WATER INLET
- TC TOP OF CURB
- TG TOP OF GRADE
- TW TOP OF RETAINING WALL

(N) IMPERVIOUS AREA
9,136 S.F.
DISTURBED AREA
21,500 S.F.

PRELIMINARY



NO.	BY	DATE	REVISIONS

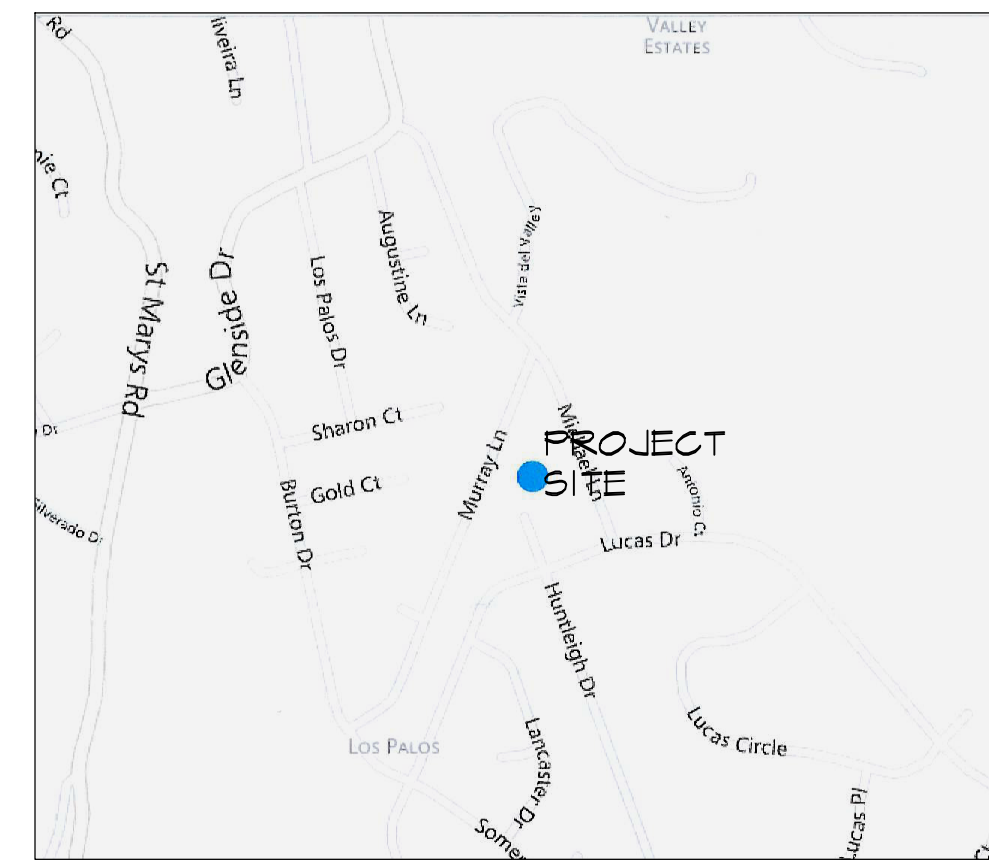
ALEXANDER & ASSOCIATES INC.
SURVEYORS
ENGINEERS
PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY:	RD
DESIGNED BY:	RD
CHECKED BY:	DA
SCALE:	1"=10'

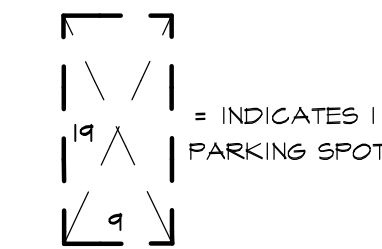
GRADING AND DRAINAGE PLAN
634 HUNTLEIGH DRIVE
LAFAYETTE
CONTRA COSTA COUNTY, CALIFORNIA

JOB NO.:	13147
USK NO.:	
FILE NO.:	
DATE:	10-2-13

SHEET NO.:
C1
OF 1 SHEETS

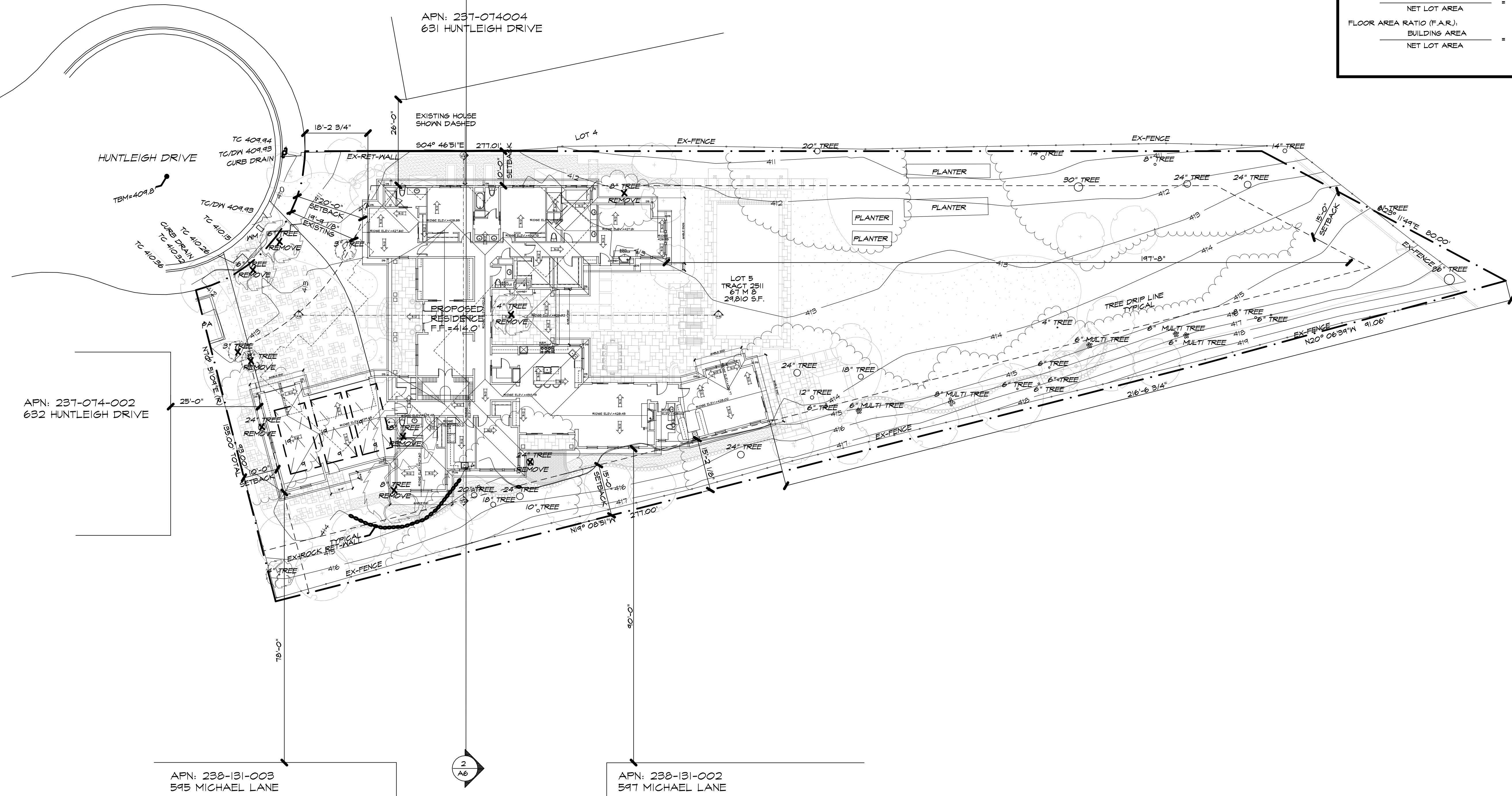


SEE LANDSCAPE PLANS FOR PLANT LIST AND HARDSCAPE INFORMATION.



PROJECT DATA

LOT AREA :	29,600 SF	
ZONED:	R-10	
A.P.N.:	23T-074-003	
MAX. HT. ALLOWED:	35'	
SITE SETBACKS:		
	MIN.	PROVIDED
FRONT:	20'-0"	20'-0" (+/-)
SIDE:	15'-0"/10'-0"	15'-2 1/8"/10'-0" (+/-)
REAR:	15'-0"	147'-8" (+/-)
FLOOR AREA:		
MAIN LEVEL:	5,274 SF	
COVD PORCH/PATIOS:	303 SF	
3-CAR GARAGE:	944 SF	
GROSS FLOOR AREA:	6,526 SF	
LOSSIA:	288 SF	
IMPERVIOUS SURFACES		
HOUSE:	6,126 SF	
PATIOS/ WALKWAYS:	3,010 SF	
TOTAL:	9,136 SF	
CUT: 504 CY		
FILL: 45 CY		
LOT NET AREA COVERAGE:		
IMPERVIOUS AREA	9,136 SF	30.8%
NET LOT AREA	29,600 SF	
FLOOR AREA RATIO (F.A.R.):		
BUILDING AREA	6,126 SF	20.6%
NET LOT AREA	29,600 SF	



SITE PLAN
SCALE: 1" = 16'-0"
0 16 32 64

A NEW RESIDENCE FOR:
MARK AND SARAH CUSUMANO
634 HUNTLEIGH DRIVE, LAFAYETTE

TALON
DESIGN GROUP, INC.
222 RAILROAD AVE., DANVILLE, CA. 94526
TEL. (925) 855-1575 Email: info@talondesign.com

A2
PROJ. NO: 13-002



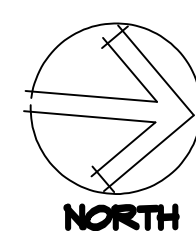
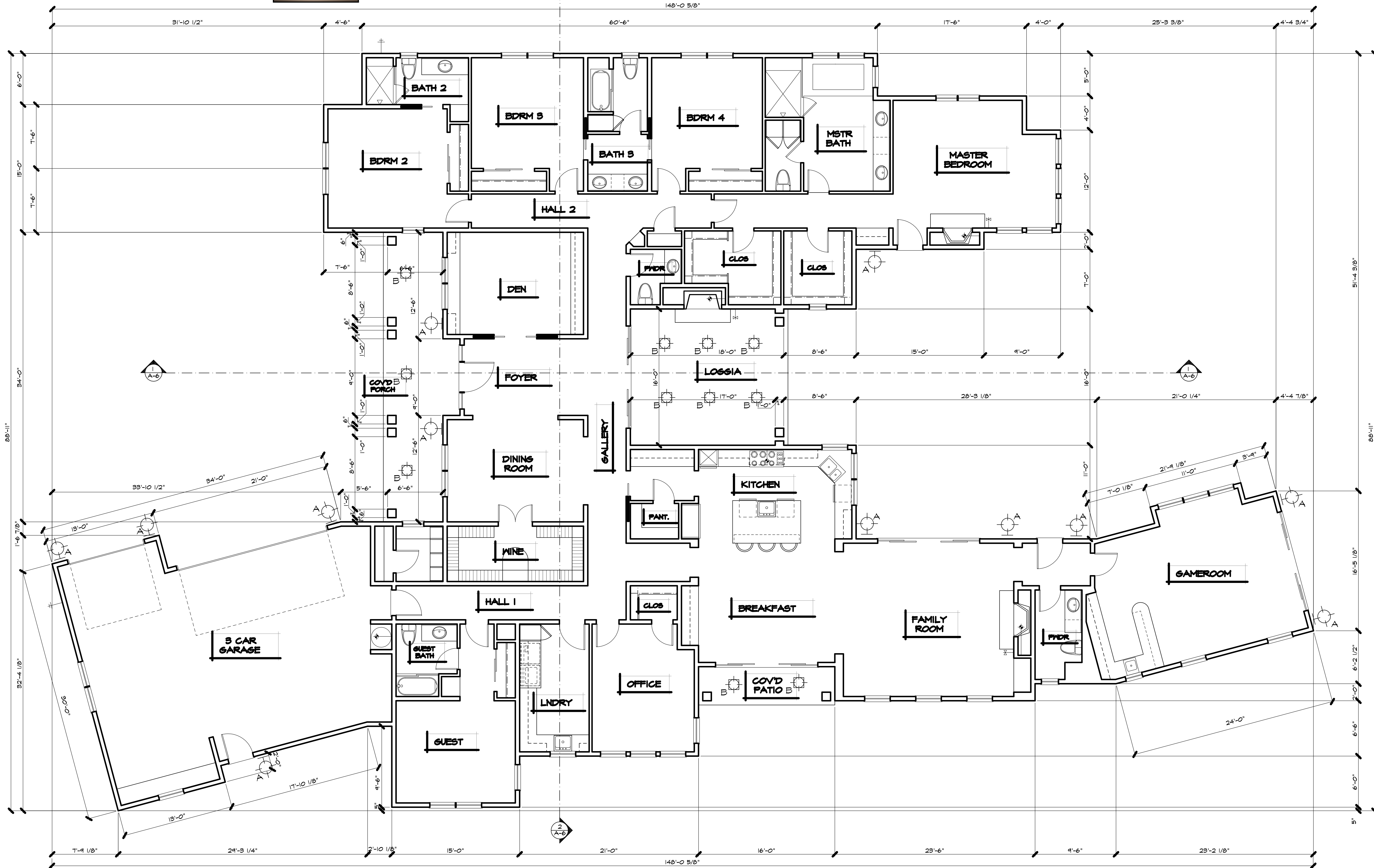
A: RESTORATION HARDWARE:
VINTAGE BARN SCONCE
W: 10" H: 10" L: 14.5"
QTY: 12

NOTE:

FOR FURTHER INFORMATION CONCERNING
LOCATION OF EXTERIOR LIGHTING FIXTURES
SEE ELEVATION SHEETS A4 AND A5.



B: 5" RECESSED CANS
QTY: 11



FLOOR PLAN
SCALE: 3/16" = 1'-0"



5279 SF LIVING
303 SF COVD PORCH/PATIOS
288 SF LOGGIA
944 SF 3-CAR GARAGE

WALL LEGEND:

- (E) CONCRETE FOUNDATION
- (N) CONCRETE FOUNDATION
- (N) 2X WOOD FRAMED WALL CONSTRUCTION @ 16" O.C.
- (N) STONE VENEER



A: RESTORATION HARDWARE:
VINTAGE BARN SCONCE
W: 10" H: 10" L: 14.5"
QTY: 12

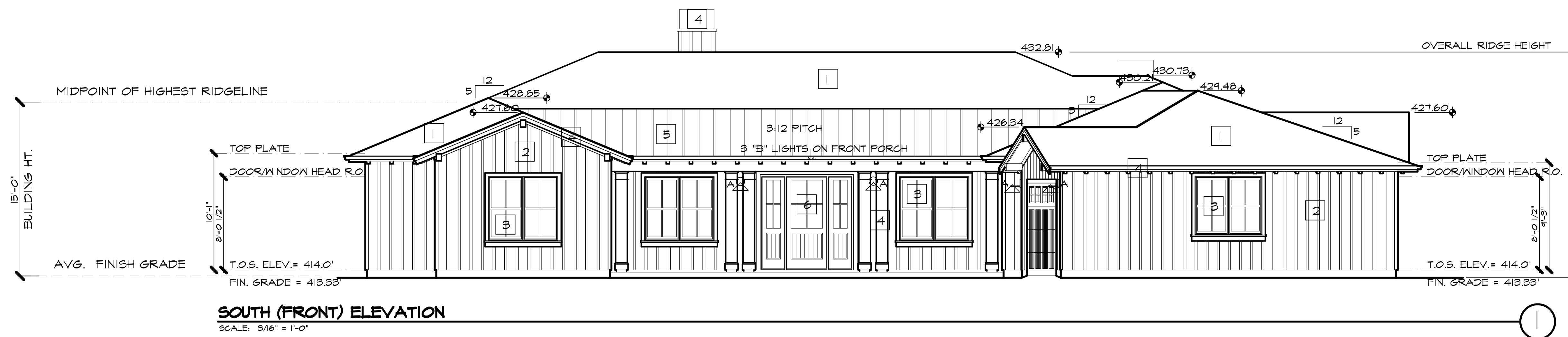
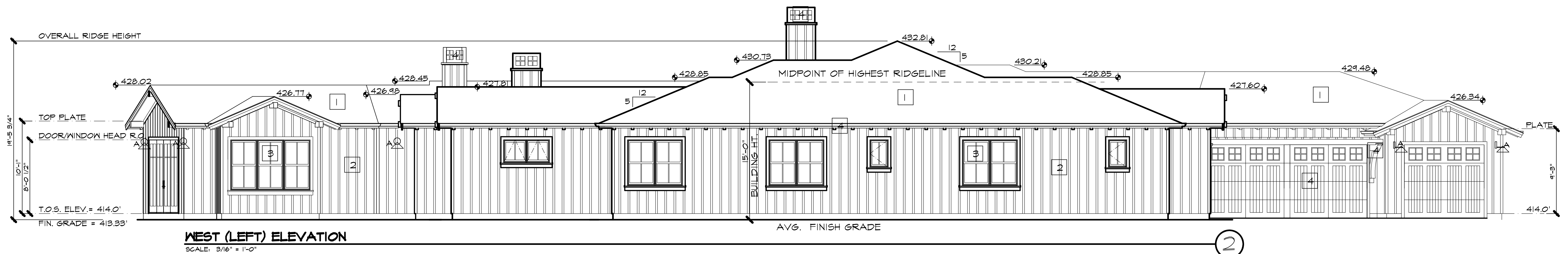


B: 5" RECESSED CANS
QTY: 11

NOTE:
FOR FURTHER INFORMATION CONCERNING
LOCATION OF EXTERIOR LIGHTING FIXTURES
SEE FLOOR PLAN SHEET A3.

COLORS/MATERIALS

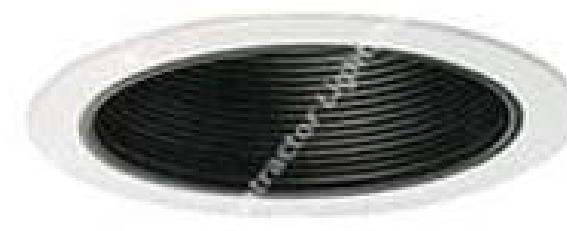
1	ROOF:	GAF: TIMBERLINE - CHARCOAL
2	SIDING:	KM4908-1 BASHFUL EMU
3	WINDOWS & EXTERIOR DOORS:	KOLBE & KOLBE - ABALONE
4	TRIM, GARAGE DOORS, COLUMNS, SHROUD:	MATCH WINDOWS
5	METAL ROOF:	ASC SKYLINE - OLD ZINC GRAY
6	FRONT DOOR:	KM 407 - CARBON



A NEW RESIDENCE FOR:
MARK AND SARAH CUSUMANO
634 HUNTLEIGH DRIVE, LAFAYETTE



A: RESTORATION HARDWARE:
VINTAGE BARN SCONCE
W: 10" H: 10" L: 14.5"
QTY: 12



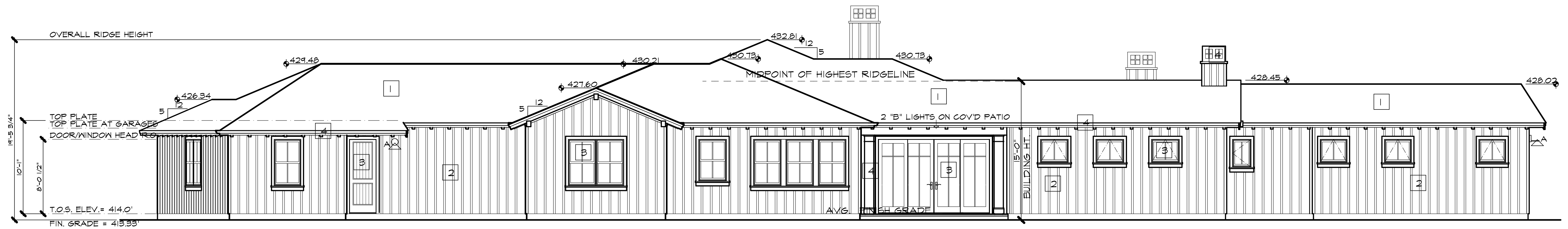
B: 5" RECESSED CANS
QTY: 11

NOTE:

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SEE FLOOR PLAN SHEET A3.

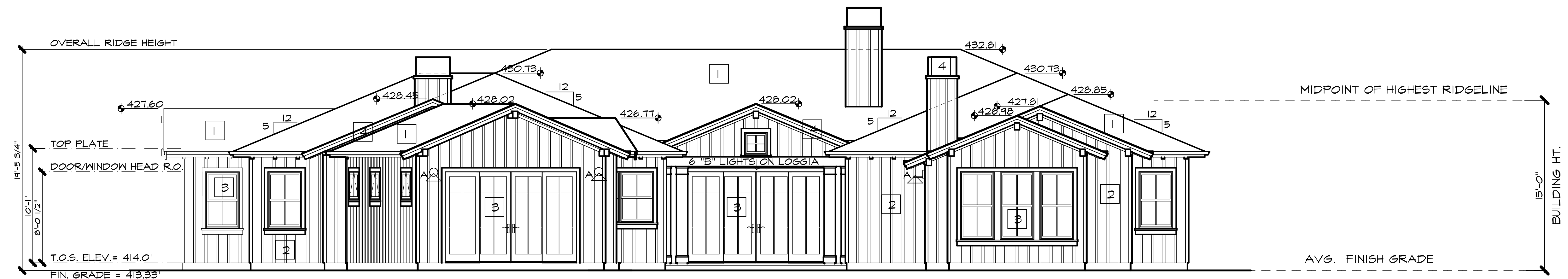
COLORS/MATERIALS

1	ROOF:	GAF: TIMBERLINE - CHARCOAL
2	SIDING:	KM4908-1 BASHFUL EMU
3	WINDOWS & EXTERIOR DOORS:	KOLBE & KOLBE - ABALONE
4	TRIM, GARAGE DOORS: COLUMNS, SHROUD:	MATCH WINDOWS
5	METAL ROOF:	ASC SKYLINE - OLD ZINC GRAY
6	FRONT DOOR:	KM 407 - CARBON



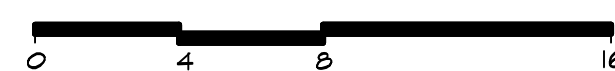
EAST (RIGHT) ELEVATION

SCALE: 3/16" = 1'-0"



NORTH (REAR) ELEVATION

SCALE: 3/16" = 1'-0"

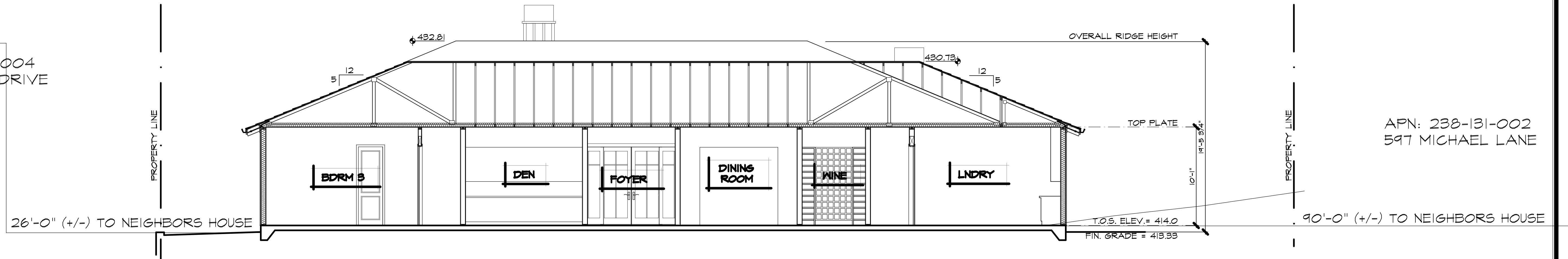


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DESIGN GROUP, INC.
222 RAILROAD AVE. DANVILLE CA. 94526
TEL: (925) 355-7575 Email: info@talondesign.com

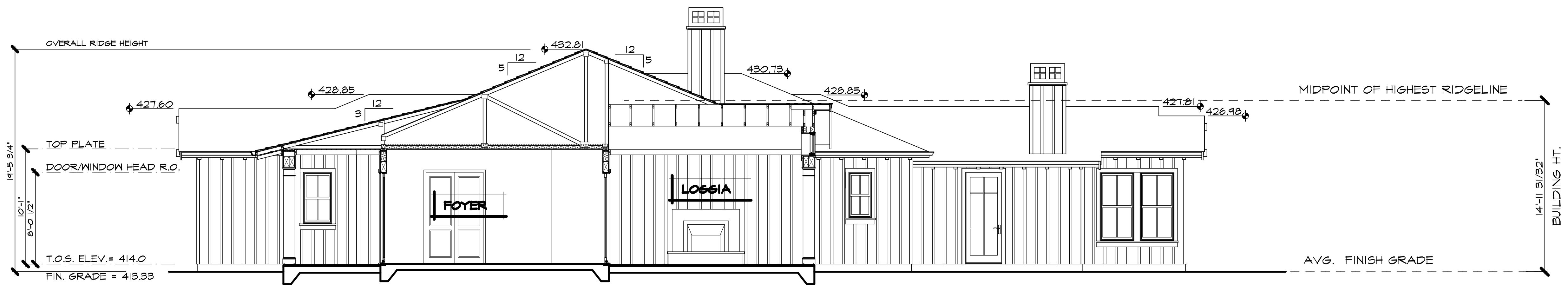
A5
PROJ. NO: 13-002

APN: 237-074-004
631 HUNTLEIGH DRIVE



BUILDING SECTION
SCALE: 3/16" = 1'-0"

2



BUILDING SECTION
SCALE: 3/16" = 1'-0"

1



	APN	ADDRESS	DISTANCE	LOT SIZE	SQ. FT.	F.A.R.
1	237074003	634 HUNTLEIGH DRIVE		29,600	5,279	18%
2	238121012	620 MICHAEL LANE	608.07	40,772	3,877	10%
3	238121010	612 MICHAEL LANE	494.59	23,043	1,534	7%
4	238121007	608 MICHAEL LANE	419.53	11,360	1,502	13%
5	238121008	606 MICHAEL LANE	361.04	11,360	1,615	14%
6	238121009	600 MICHAEL LANE	329.60	11,360	1,636	14%
7	238133018	598 MICHAEL LANE	245.80	14,240	1,358	10%
8	238133017	596 MICHAEL LANE	262.26	14,400	1,358	9%
9	238133016	594 MICHAEL LANE	258.71	14,400	1,842	13%
10	238133015	592 MICHAEL LANE	261.45	15,040	1,634	11%
11	238133014	590 MICHAEL LANE	275.89	9,775	1,358	14%
12	238132002	3201 LUCAS DRIVE	331.05	16,000	1,607	10%
13	238132001	3203 LUCAS DRIVE	307.05	16,000	3,129	20%
14	237073008	626 HUNTLEIGH DRIVE	283.00	11,000	2,522	23%
15	237072010	626 LUCAS DRIVE	314.95	11,000	1,911	17%
16	237401013	617 MURRAY LANE	390.09	13,500	3,395	25%
17	237401014	619 MURRAY LANE	324.17	13,000	3,485	27%
18	237401015	621 MURRAY LANE	277.11	12,150	3,451	28%
19	237401016	623 MURRAY LANE	234.17	12,350	3,383	27%
20	237401017	625 MURRAY LANE	217.14	10,800	3,216	30%
21	237401018	627 MURRAY LANE	223.54	10,900	3,074	28%
22	237401019	629 MURRAY LANE	259.71	9,975	3,175	32%
23	237401020	631 MURRAY LANE	296.19	10,500	3,171	30%
24	237401021	633 MURRAY LANE	394.45	10,600	2,813	27%
25	238122008	633 MICHAEL LANE	567.24	10,750	2,295	21%
26	238102019	634 AUGUSTINE LANE	630.28	18,720	2,380	13%
27	238102018	633 AUGUSTINE LANE	599.38	15,210	3,230	21%
28	237022027	3212 SHARON COURT	500.83	19,180	2,657	14%
29	237022026	3210 SHARON COURT	448.02	25,000	1,640	6%
30	237022025	3211 SHARON COURT	359.28	12,090	1,704	14%
31	237022013	3214 GOLD COURT	388.36	24,750	3,329	13%
32	237401022	NO ADDRESS	100.00	94,944	vacant	
33	237074004	631 HUNTLEIGH DRIVE	26.00	22,200	3,376	15%
34	237074005	629 HUNTLEIGH DRIVE	107.97	19,920	2,540	13%
35	237074006	627 LUCAS DRIVE	185.80	12,650	2,248	18%
36	237074007	625 LUCAS DRIVE	257.04	23,850	3,095	13%
37	237074001	630 HUNTLEIGH DRIVE	31.15	11,000	1,863	17%
38	237074002	632 HUNTLEIGH DRIVE	25.00	10,000	2,579	26%
39	238131005	3200 LUCAS DRIVE	186.50	12,600	2,288	18%
40	238131004	593 MICHAEL LANE	104.09	11,200	1,478	13%
41	238131003	595 MICHAEL LANE	77.78	11,200	2,219	20%
42	238131002	597 MICHAEL LANE	89.78	11,200	1,468	13%
43	238131001	599 MICHAEL LANE	102.83	11,200	1,416	13%
44	238122005	601 MICHAEL LANE	125.46	9,800	1,588	16%
45	238122006	605 MICHAEL LANE	170.49	9,800	2,780	28%
	238122007	609 MICHAEL LANE	251.46	8,280	1,559	19%

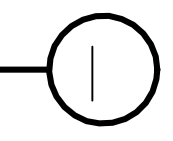
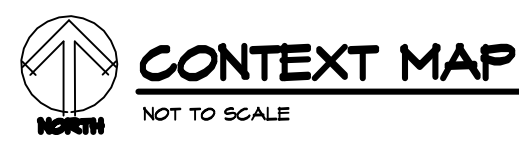
A NEW RESIDENCE FOR:

MARK AND SARAH CUSUMANO

634 HUNTLEIGH DRIVE, LAFAYETTE

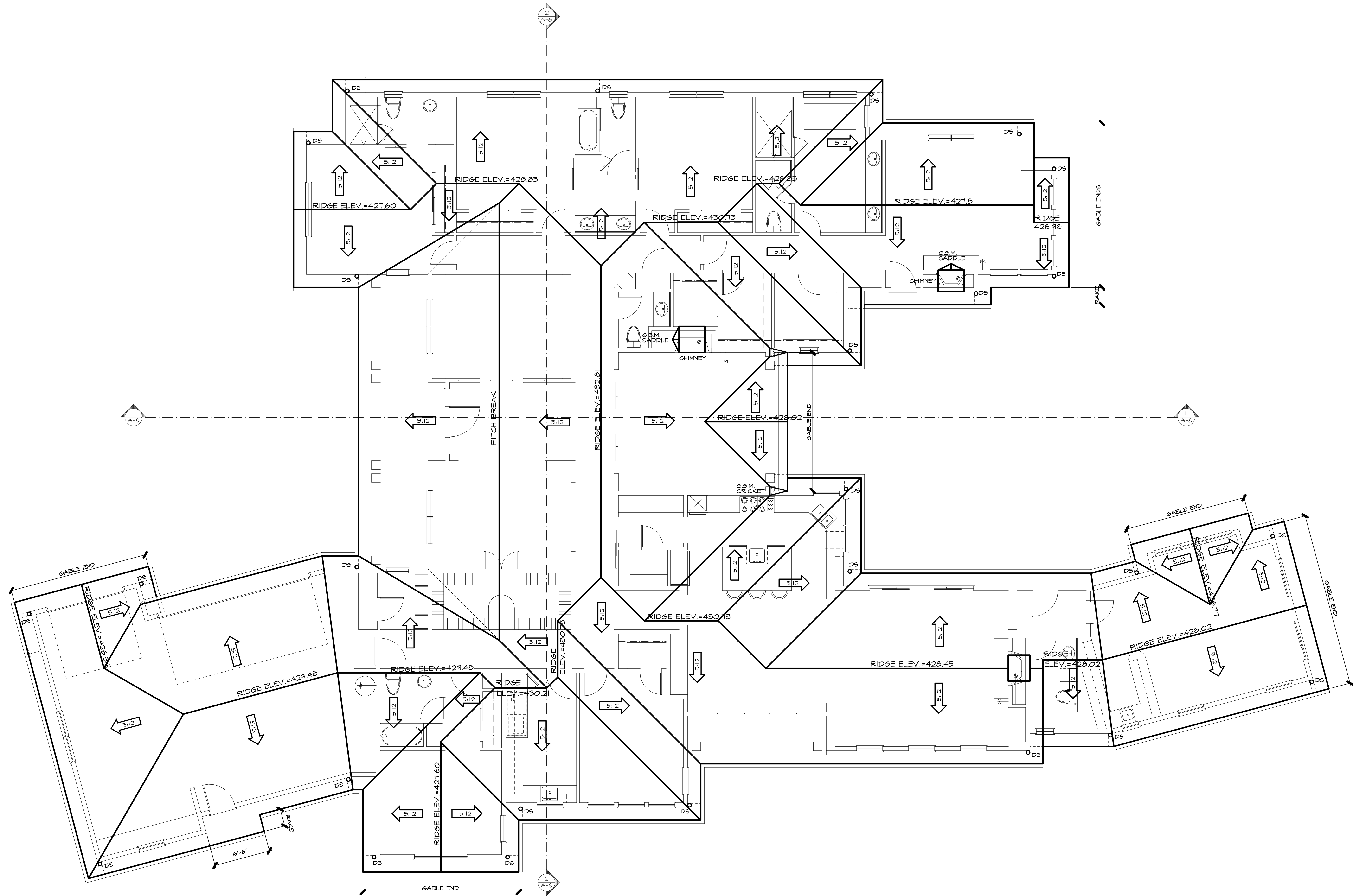
TALON
DESIGN GROUP, INC.

5225 RAILROAD AVE., DANVILLE, CA 94526
TEL: (925) 965-7575 Email: info@talondesign.com



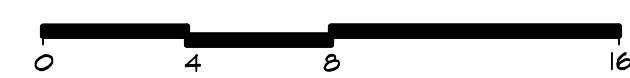
Google earth

Imagery Date: 8/28/2012 37°52'15.77" N 122°05'32.88" W elev 427 ft eye alt 2146 ft



ROOF PLAN

SCALE: 3/16" = 1'-0"



SITE PLAN NOTES:

1- DRYSTACK STONE WALL TO BE CANYON CREEK LEDGESTONE HEIGHT MARKED ON PLAN IS APPROXIMATE. FIELD VERIFY AND ADJUST AS NEEDED.

2- LAWN HEADER: SURE-LOC CRISPEDE 1/8"X4" METAL. INSTALL GOPHER NETTING UNDER LAWN

3- PAVING 'A' (STONE): TO BE FULL RANGE CONNECTICUT BLUESTONE SET ON 4" THICK CONCRETE AND COMPACTED AGGREGATE SUBBASE.

4- PAVING 'B' (BRICK): BRICK TO BE REAL USED BRICK SET ON SAND, AND COMPACTED SUBBASE. BRICK BAND TO BE REAL USED BRICK SET ON CONCRETE FOUNDATION.

5- GRAVEL PAVING: TO BE 5" THICK BLEND OF 3/8" CALIFORNIA GOLD AND SIERRA FINES. COMPACT SUBBASE LAY GRAVEL IN LAYERS, WET AND COMPACT EACH LAYER. HEADER TO BE SURE-LOC CRISPEDE 1/8"X4" METAL. PROVIDE LANDSCAPE FABRIC UNDER GRAVEL PAVING

6- PAVING 'C': TO BE BELGARD SUBTERRA STONE PAVERS COLOR T.B.D.

7- PAVING 'D': TO BE BELGARD "SUBTERRA STONE" PAVERS COLOR T.B.D.

8- DRYSET FLAGSTONE PATH: FLAGSTONE TO BE FULL RANGE CONNECTICUT BLUESTONE SET ON 2 1/2" COMPACTED SUBBASE (50% SAND, 50% PLANTING MIX) BACKFILL AROUND STONES WITH PLANTING MIX GAPS TO VARY IN WIDTH FROM 1 1/2" TO 3" MAX. PLANT THYMUS PSEUDOLANUGINOSUS 'HALL'S WOOLY' IN SUNNY AREAS. AND MAZUS REPTANS 'ALBA' BETWEEN STONES IN SHADY AREAS

9- PILASTER AT DRIVEWAY: PILASTER TO BE CMU BLOCK FACED WITH T.B.D. LEDGESTONE. CAP T.B.D. PILASTER TO BE 4'-6" HEIGHT

10- SPORT COURT: TO BE CONCRETE WITH MEDIUM BROOM FINISH. CONCRETE COLOR T.B.D. COURT PAINT BY CONTRACTOR

11- STEPS: TO HAVE CONCRETE FOUNDATIONS. TREAD TO BE FULL RANGE CONNECTICUT BLUESTONE FLAMED AND EASED EDGES. RISER TO BE FACED WITH CANYON CREEK LEDGESTONE

SWIMMING POOL NOTES:

A) PLASTER: WET EDGE SATIN MATRIX 'KIWI BLEND'
 B) WATERLINE TILE: 1"X1" GLASS TILE-COLOR T.B.D.
 C) COPING: TO BE 2"X48"X14" THICK FULL RANGE CONNECTICUT BLUESTONE WITH FLAMED AND EASED EDGES
 D) CONTROLLER: PENTAIR INTELLITOUCH.
 E) POOL SIZE: 18'X39'
 F) POOL DEPTH 3'-6" TO 6'-6" (SEE SITE PLAN)
 G) POOL LIGHTING SPECS PER POOL CONTRACTOR
 H) AUTOMATIC COVER TO HAVE RECESSED TRAY TO BE 2"X48"X14" THICK FULL RANGE CONNECTICUT BLUESTONE WITH FLAMED AND EASED EDGES COPING.

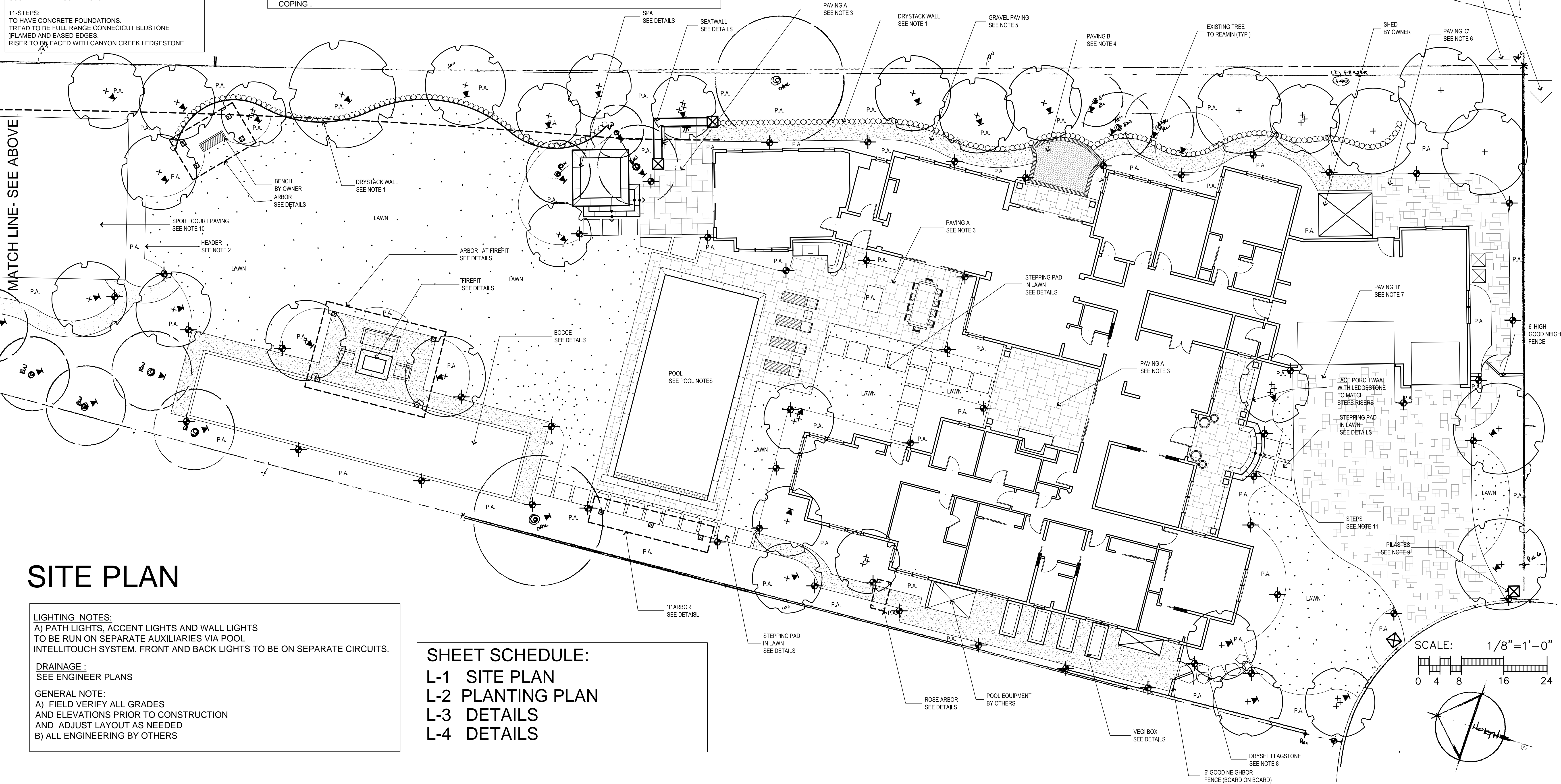
SITE PLAN

LIGHTING NOTES:
 A) PATH LIGHTS, ACCENT LIGHTS AND WALL LIGHTS TO BE RUN ON SEPARATE AUXILIARIES VIA POOL INTELLITOUCH SYSTEM. FRONT AND BACK LIGHTS TO BE ON SEPARATE CIRCUITS.

DRAINAGE :
 SEE ENGINEER PLANS

GENERAL NOTE:
 A) FIELD VERIFY ALL GRADES AND ELEVATIONS PRIOR TO CONSTRUCTION AND ADJUST LAYOUT AS NEEDED
 B) ALL ENGINEERING BY OTHERS

SHEET SCHEDULE:
 L-1 SITE PLAN
 L-2 PLANTING PLAN
 L-3 DETAILS
 L-4 DETAILS



NOTES & SPECIFICATIONS

This plan is a schematic design only. It is to be used for aesthetic purposes only. This is neither an engineered nor a surveyed plan. Contractor is responsible for site verification of all design elements and making any necessary adjustments to ensure proper function. A licensed consulting engineer should be responsible for all drainage, grading and details.

EXISTING VEGETATION SURVEY
 Client and contractors to consult with a certified arborist prior to construction to determine the impact of the design and construction on the existing trees. Client and contractors are responsible for mitigating the impact and preserving the long term health of the trees.

LIGHTING SCHEMATIC (Low Voltage Pathway Light)

Lighting Symbol	Light Type	Manufacturer/Model #
	Path Light	FX LUMINAIRE - CB-CAPPELLIBONDI CB-20-12R
	Hooded Spot Light	FX LUMINAIRE - MUMACCHIAULTIHO M20-DG
	Recessed Lawn Light	N/A
	Recessed Wall Light	FX LUMINAIRE - LM-LOVERMISSMO LM-20 COPPER

Run direct burial low voltage wire, minimum depth 1'0" from timer transformer @ house to all electrical fixtures. Install separate transformers for path and accent lights. Optional per owner request to install switch in house for transformer outlet.

DRAINAGE SCHEMATIC

Symbol

- C.B. 6" catchbasins locate at low points. (Site verify low points.) Tie catchbasins into 3" diameter solid styrene drain lines. Route drain line to street or tie into existing drainage system. Tie down spots into system if not already done. Contractor is ultimately responsible for field verification of proposed drainage schematic and for adding to system in order to insure proper drainage of site.

Note: Contractor is responsible for installing minimum 3" diameter French drain behind all retaining walls and around the perimeter of all pools.

It is recommended that a French drain be installed around the perimeter of the house per an engineer's specifications. The drainage layout is schematic only and is for landscape drainage purposes. The system designed is not meant to prevent possible water problems under the home or to prevent earth movement. A drainage engineer should be contacted to insure the adequacy of the schematic layout in regards to earth movement and/or water issues with the residence.

MOUNDING
 Fill dirt must be clean with similar texture and composition as that of existing topsoil. Heights shown are approximations. Contour lines represent shape only. Mounds should be graded smooth and allowed to settle before planting. A Civil Engineer or the Landscape Contractor is responsible for developing the grading plan.

LAWN HEADER BOARD AND PATHWAY HEADERBOARD
 All headerboard to be Sure-loc Crispedge 1/8" x 4" Aluminum Landscape Edging. Use Sure-loc Sureedge 3/16" x 4" edging for straight runs.

CONCRETE
 New Pools: The pool contractor is responsible for all grading for the pool area decks only.
 Remodel Pools: The concrete contractor is responsible for all grading for the pool area decks.
 Contractor responsible for grading all new patio/walkway areas.
 Contractor is responsible for layout and installation of all necessary drains for concrete areas. Patios and walkways are to have a 4" gravel subbase and No. 3 rebar reinforcing, 16" O.C. both ways in concrete (1" thick), as specified by the concrete contractor. Field verify layouts and elevations. Contractor to install 3" diameter PVC sleeves into all patios, under patios and under driveway for irrigation and lighting wire. Install separate sleeves for drain lines. The contractor is responsible for layout of all control joints.

Peter Koenig Designs
 LANDSCAPE DESIGN & PLANNING
 1451 Danville Blvd., Suite 108
 Alamo, CA 94507
 (925) 743-9509
 Fax (925) 743-9270

MARK & SARAH CUSUMANO RESIDENCE
 634 HUNTLEIGH DR.
 LAFAYETTE, CA # (415) 307-2692

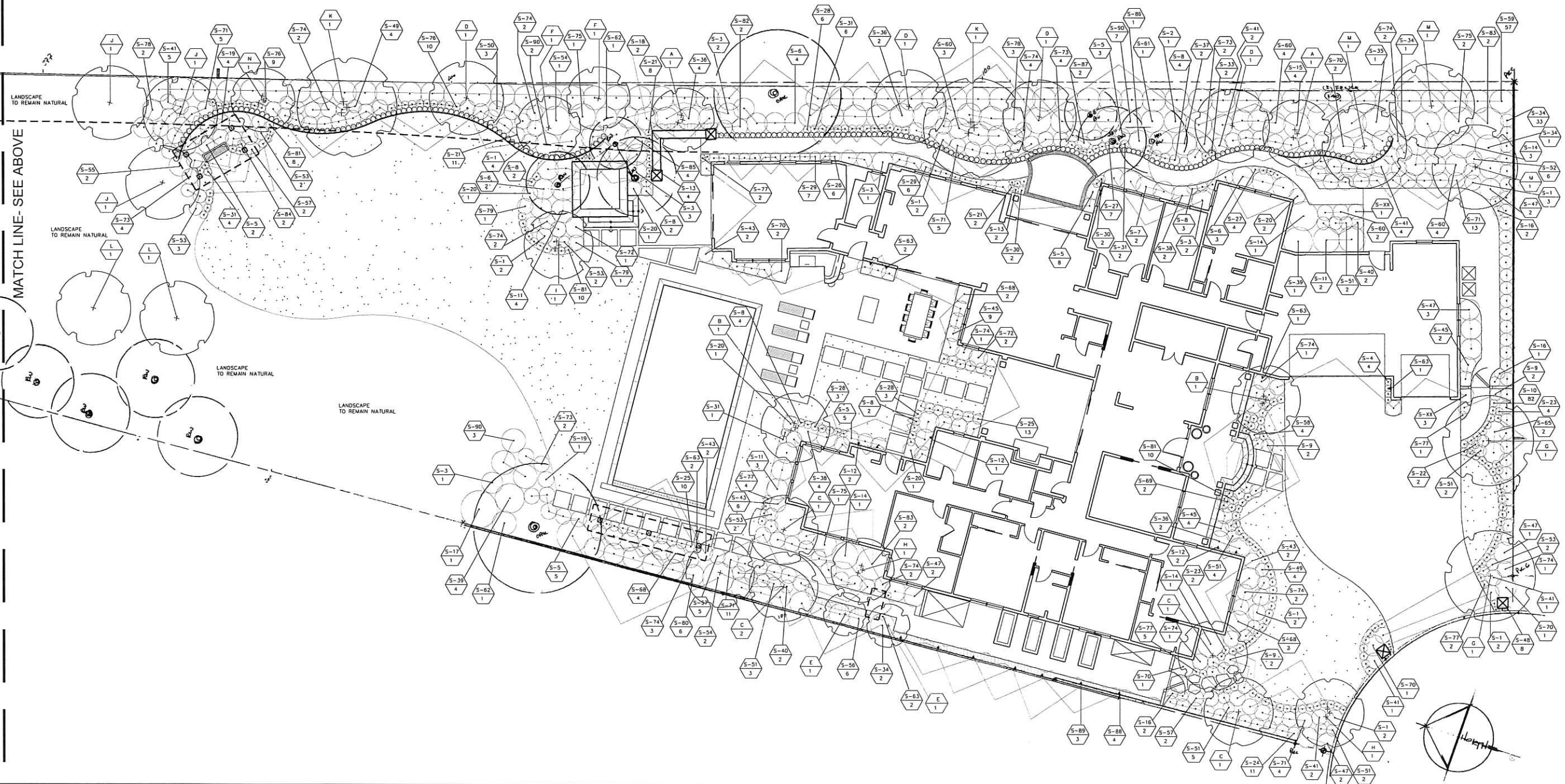
TITLE	MARK & SARAH CUSUMANO RESIDENCE
REVISIONS	
SCALE:	1/8" = 1'-0"
DATE	03/26/2013
DESIGN	P.K.K. R.F.F.
DRAWN	R.F.F. H.D.V.
SHEET	L-1 4
OF	

SHRUBS		SYMBOL		BOTANICAL/COMMON NAME		REMARKS		
S-1	5 Gal	Abeila x 'Confetti'	NCN (No Common Name)	S-33	1 Gal	Heuchera Dolce 'Key Lime Pie'	NCN	
S-2	5 Gal	Abutilon Hybridum 'White'	Chinese Lantern	S-34	5 Gal	Hibiscus Shirasii 'Blue Bird'	S-62	5 Gal
S-3	5 Gal	Abutilon Hybridum 'Pink Parasol'	Chinese Lantern	S-35	5 Gal	Hibiscus Syriacus 'Diana'	S-63	5 Gal
S-4	1 Gal	Agapanthus 'Tricolor Ball'	Lily Of The Nile	S-36	5 Gal	Hydrangea Macrophylla 'Endless Summer'	S-64	5 Gal
S-5	5 Gal	Azalea Kurume 'Snow'	Kurume Azalea	S-37	5 Gal	Hydrangea Macrophylla 'Nanasea Vasegata'	S-65	5 Gal
S-6	5 Gal	Azalea Southern Indica 'Alaska'	Sun Azalea	S-38	5 Gal	Hydrangea Macrophylla 'Sister Teresa'	S-66	5 Gal
S-7	5 Gal	Azalea Southern Indica 'Southern Charm'	Sun Azalea	S-39	5 Gal	Hydrangea paniculata 'Limelight'	S-67	5 Gal
S-8	1 Gal	Brunnera Microphylla 'Jack Frost'	NCN	S-40	1 Gal	Hydrangea paniculata 'Limelight'	S-68	5 Gal
S-9	5 Gal	Buxus Sempervirens 'Argenteomarginata' (Ball Topiary)	Variegated English Boxwood	S-41	1 Gal	Hydrangea paniculata 'Limelight'	S-69	5 Gal
S-10	5 Gal	Buxus Sempervirens 'Suffruticosa'	English Boxwood	S-42	1 Gal	Hydrangea paniculata 'Limelight'	S-70	3 Gal
S-11	5 Gal	Camellia Sasanqua 'Shiko-gashira'	NCN	S-43	15 Gal	Hydrangea paniculata 'Limelight'	S-71	2 Gal
S-12	5 Gal	Camellia Sasanqua 'White Dove' (Espalier)	NCN	S-44	5 Gal	Hydrangea paniculata 'Limelight'	S-72	5 Gal
S-13	1 Gal	Campanula Latifolia 'Strawford'	NCN	S-45	5 Gal	Hydrangea paniculata 'Limelight'	S-73	1 Gal
S-14	5 Gal	Choisya Ternata	Mexican Orange	S-46	5 Gal	Hydrangea paniculata 'Limelight'	S-74	5 Gal
S-15	5 Gal	Choisya Ternata 'Sundance'	Mexican Orange	S-47	5 Gal	Hydrangea paniculata 'Limelight'	S-75	5 Gal
S-16	1 Gal	Chrysanthemum Maximum 'Esther Reed'	Shasta Daisy	S-48	1 Gal	Hydrangea paniculata 'Limelight'	S-76	1 Gal
S-17	5 Gal	Cornus Stolonifera 'Hedgehog's Gold'	Variegated Redtwig Dogwood	S-49	5 Gal	Hydrangea paniculata 'Limelight'	S-77	1 Gal
S-18	5 Gal	Daphne Odora 'Margaret'	Winter Daphne	S-50	1 Gal	Hydrangea paniculata 'Limelight'	S-78	5 Gal
S-19	1 Gal	Dianella Tasmanica	NCN	S-51	1 Gal	Hydrangea paniculata 'Limelight'	S-79	1 Gal
S-20	1 Gal	Dianella Tasmanica Variegata	NCN	S-52	1 Gal	Hydrangea paniculata 'Limelight'	S-80	15 Gal
S-21	1 Gal	Diplazis Camerata White	Fragaria	S-53	1 Gal	Hydrangea paniculata 'Limelight'	S-81	1 Gal
S-22	1 Gal	Echinacea Purpurea 'PowWow White'	Coneflower	S-54	5 Gal	Hydrangea paniculata 'Limelight'	S-82	5 Gal
S-23	1 Gal	Echinacea Purpurea 'PowWow Wild Berry'	Coneflower	S-55	5 Gal	Hydrangea paniculata 'Limelight'	S-83	5 Gal
S-24	1 Gal	Euonymus Japonica 'Green Spine'	Evergreen Euonymus	S-56	5 Gal	Hydrangea paniculata 'Limelight'	S-84	5 Gal
S-25	1 Gal	Euonymus Japonica 'Microphylla Variegata'	Evergreen Euonymus	S-57	5 Gal	Hydrangea paniculata 'Limelight'	S-85	5 Gal
S-26	5 Gal	Gardenia Jasmimoides 'White Gem'	Dwarf Gardenia	S-58	1 Gal	Hydrangea paniculata 'Limelight'	S-86	5 Gal
S-27	1 Gal	Geranium Cambogianum 'Karma'	NCN	S-59	5 Gal	Hydrangea paniculata 'Limelight'	S-87	5 Gal
S-28	1 Gal	Geranium 'Russell Petchard'	NCN	S-60	5 Gal	Hydrangea paniculata 'Limelight'	S-88	5 Gal
S-29	1 Gal	Hebe 'Royal Heritage'	NCN	S-61	5 Gal	Hydrangea paniculata 'Limelight'	S-89	5 Gal
S-30	1 Gal	Heuchera 'Peppermint Spice'	NCN	S-62	5 Gal	Hydrangea paniculata 'Limelight'	S-90	5 Gal
S-31	1 Gal	Heuchera 'Pum Pudding'	NCN	S-63	5 Gal	Hydrangea paniculata 'Limelight'	S-91	5 Gal
S-32	1 Gal	Heuchera Dolce 'Caramel'	NCN	S-64	5 Gal	Hydrangea paniculata 'Limelight'	S-92	5 Gal

SHRUBS		SYMBOL		BOTANICAL/COMMON NAME		REMARKS	
S-62	5 Gal	Rhododendron 'Purple Splendor'	NCN	S-92	5 Gal	Serenum Cantabrigiense 'Kaminu'	Plant 15" O.C. From 1 Gal.
S-63	5 Gal	Rosa Cl. Eden	Climbing Rose	S-93	5 Gal	Cranesbill Geranium	
S-64	5 Gal	Rosa Cl. Eden White	Climbing Rose	S-94	5 Gal		
S-65	5 Gal	Rosa Floribunda 'French Lace'	Rose	S-95	5 Gal		
S-66	5 Gal	Rosa Floribunda 'Burgundy Iceberg'	Rose	S-96	5 Gal		
S-67	5 Gal	Rosa Floribunda 'Fragrant Wave'	Rose	S-97	5 Gal		
S-68	5 Gal	Rosa Floribunda 'Iceberg'	Rose	S-98	5 Gal		
S-69	5 Gal	Rosa Floribunda 'Iceberg Tree'	Tree Rose	S-99	5 Gal		
S-70	3 Gal	Rosa Floribunda 'Sweet Intoxication'	Rose	S-100	5 Gal		
S-71	2 Gal	Rosa Flower Carpet White	Hybrid Tea Rose	S-101	5 Gal		
S-72	5 Gal	Rosa Hybrid Tea 'Ebb Tide'	Rose	S-102	5 Gal		
S-73	1 Gal	Salvia Chippensis	Active-Scented Sage	S-103	5 Gal		
S-74	5 Gal	Salvia Guineensis 'Black & Silver'	Sage	S-104	5 Gal		
S-75	5 Gal	Salvia Mexicana 'Limelight'	Sage	S-105	5 Gal		
S-76	1 Gal	Salvia Nemeosa 'Marcus'	Sage	S-106	5 Gal		
S-77	1 Gal	Salvia Nemeosa 'Snowhill'	Sage	S-107	5 Gal		
S-78	5 Gal	Salvia Wisleyi	NCN	S-108	5 Gal		
S-79	1 Gal	Stachys Byzantina 'Helen Von Stein'	Lamb's Ear	S-109	5 Gal		
S-80	15 Gal	Thuja Occidentalis 'Fastigiata'	American Arborvitae	S-110	5 Gal		
S-81	1 Gal	Veronica Spicata 'Purpuriscent'	Speedwell	S-111	5 Gal		
S-82	5 Gal	Viburnum Davidi	NCN	S-112	5 Gal		
S-83	5 Gal	Viburnum Plicatum Tomentosum 'Maximii'	Douglas Viburnum	S-113	5 Gal		
S-84	5 Gal	Wisteria Sinensis 'Alba'	White Blooming Chinese Wisteria	S-114	5 Gal		
S-85	5 Gal	Woodwardia Fimbriata	Giant Chain Fern	S-115	5 Gal		
S-86	1 Gal	Yucca Filifera 'Fragrantissima'	Licorice	S-116	5 Gal		
S-87	1 Gal	Hosta 'Frances Williams'	Plantain Lily	S-117	5 Gal		
S-88	5 Gal	Pandorea Jasmimoides 'Alba'	Bower's Vine	S-118	5 Gal		
S-89	5 Gal	Chytosoma Calliagades	Levender Trumpet	S-119	5 Gal		
S-90	5 Gal	Camellia Sasanqua 'Silver Dollar'	NCN	S-120	5 Gal		

GROUNDCOVER

SYMBOL	BOTANICAL/COMMON NAME	REMARKS
[Hatched Box]	Serenum Cantabrigiense 'Kaminu'	Plant 15" O.C. From 1 Gal.
[Dotted Box]	Cranesbill Geranium	



MATCH LINE - SEE BELOW

MATCH LINE - SEE ABOVE

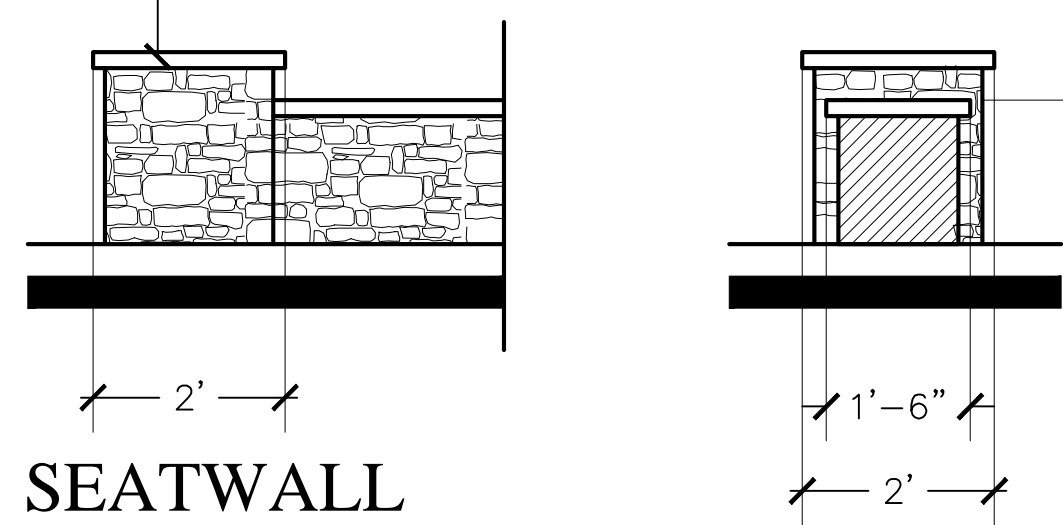
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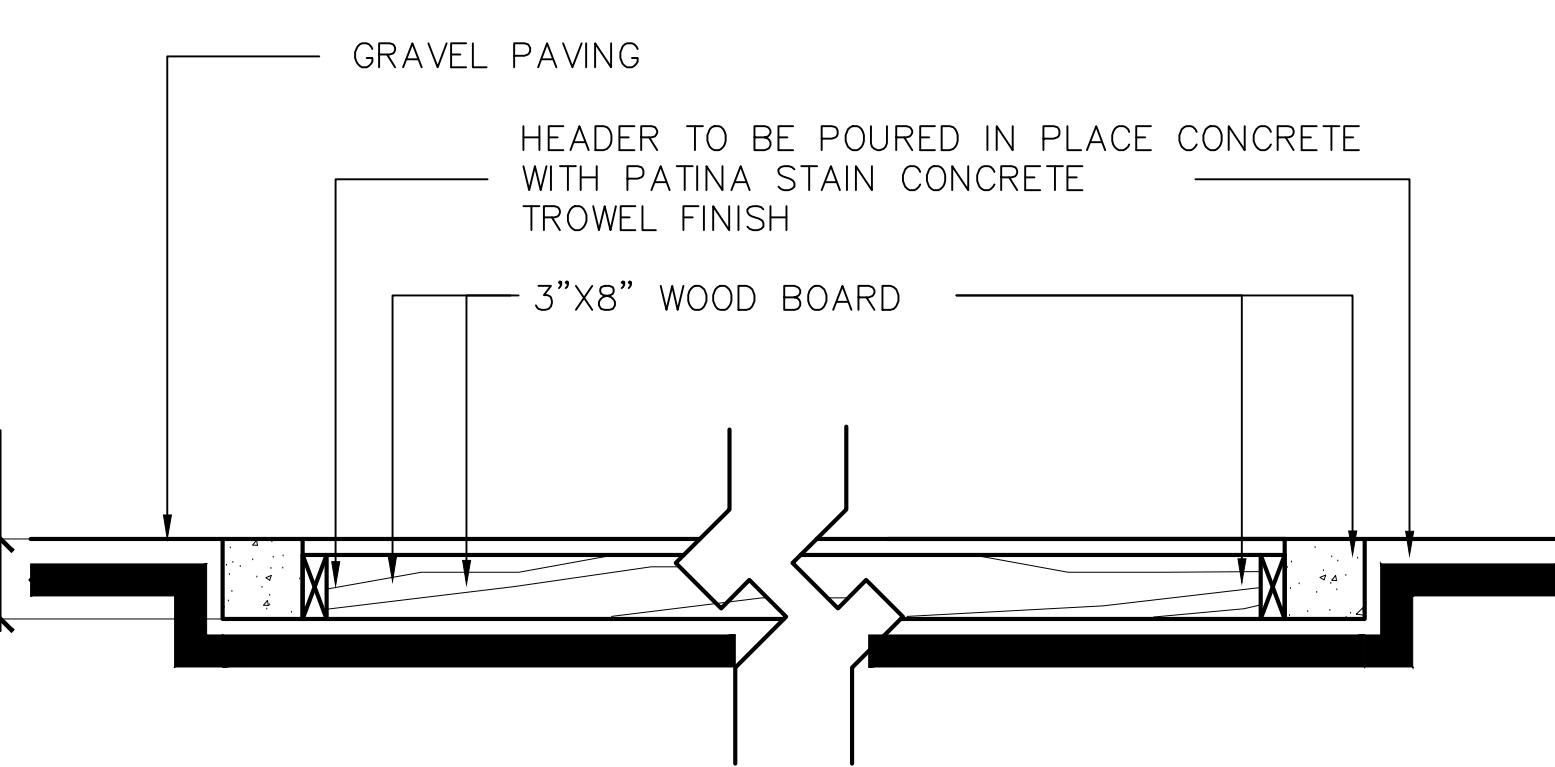
TITLE
 REVISIONS
 SCALE:
 1"=10'
 DATE
 03/26/2013
 DESIGN
 P.K.K. R.F.F.
 DRAWN
 R.F.F. H.D.V.

SHEET
L-2
 OF 3

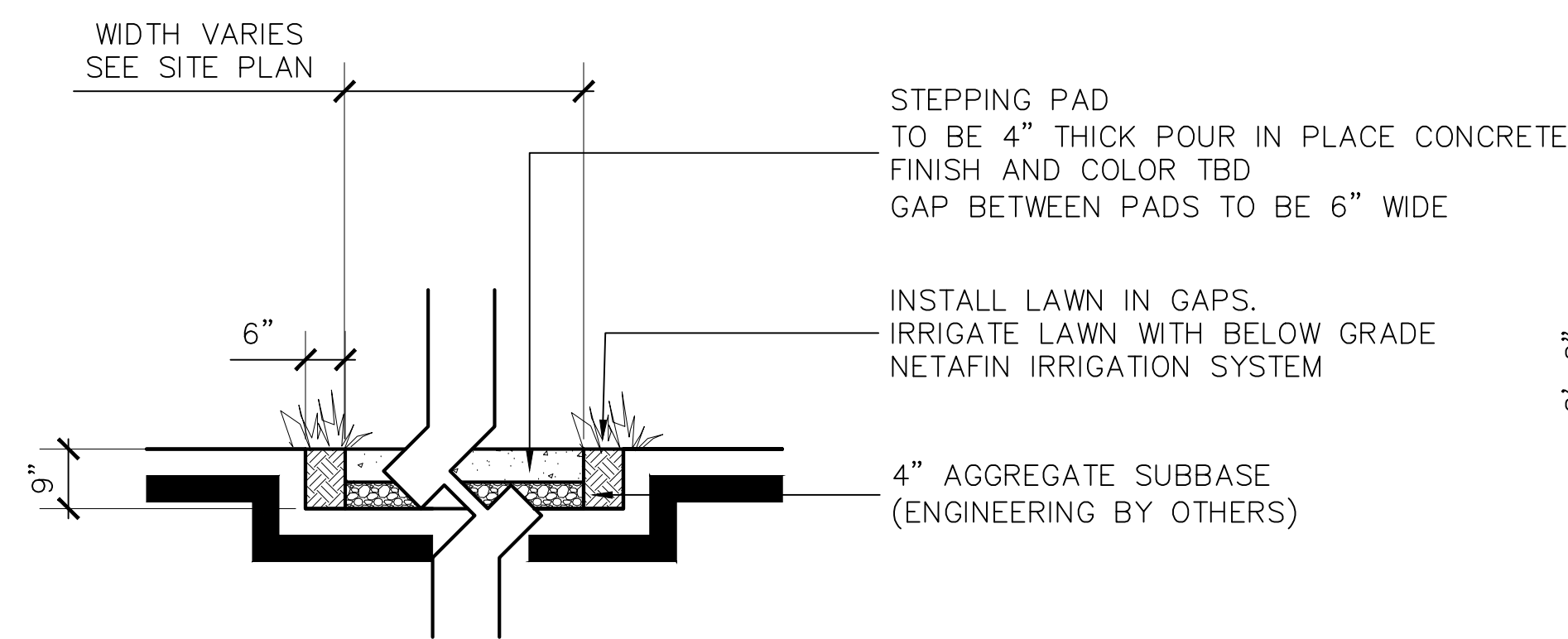
PILASTER AND SEAT WALL TO BE CMU BLOCK FACED WITH LEDGESTONE WITH CAP. FOR LEDGE AND CAP TYPE SEE MATERIAL NOTES



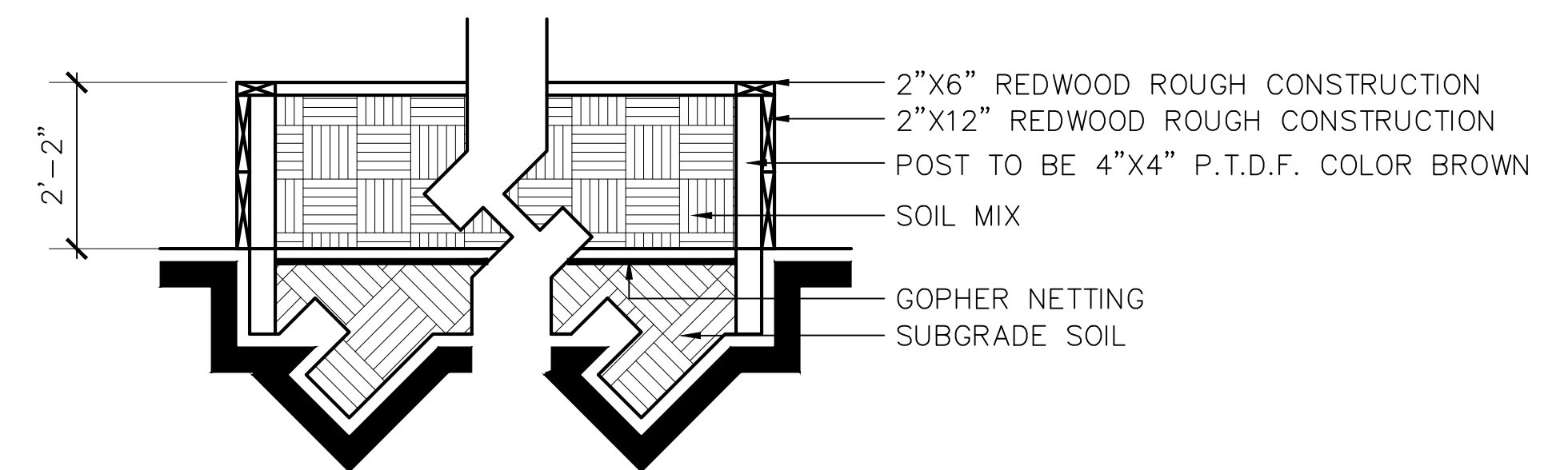
SEATWALL
SCALE: 1/2"=10"



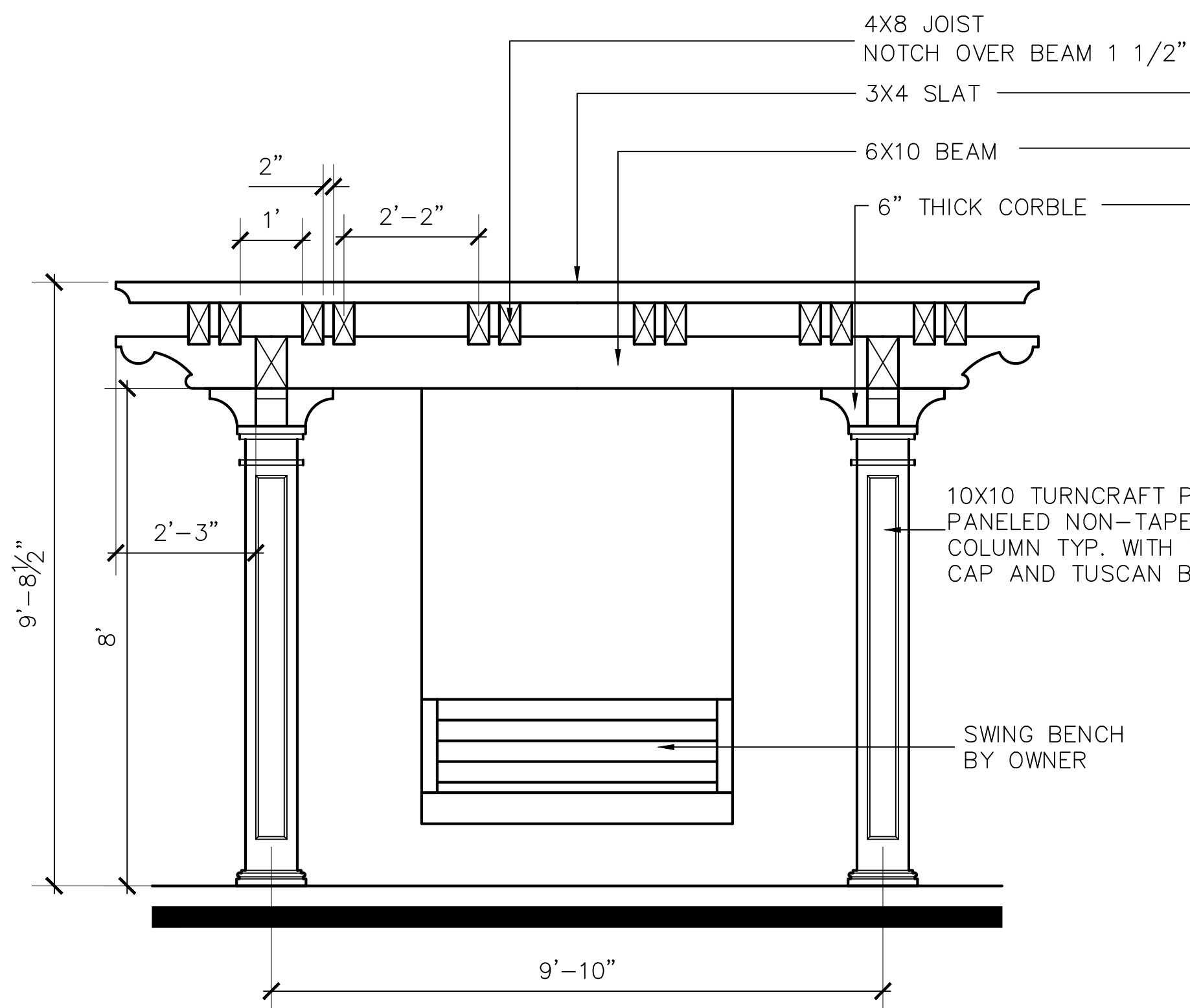
BOCCE COURT
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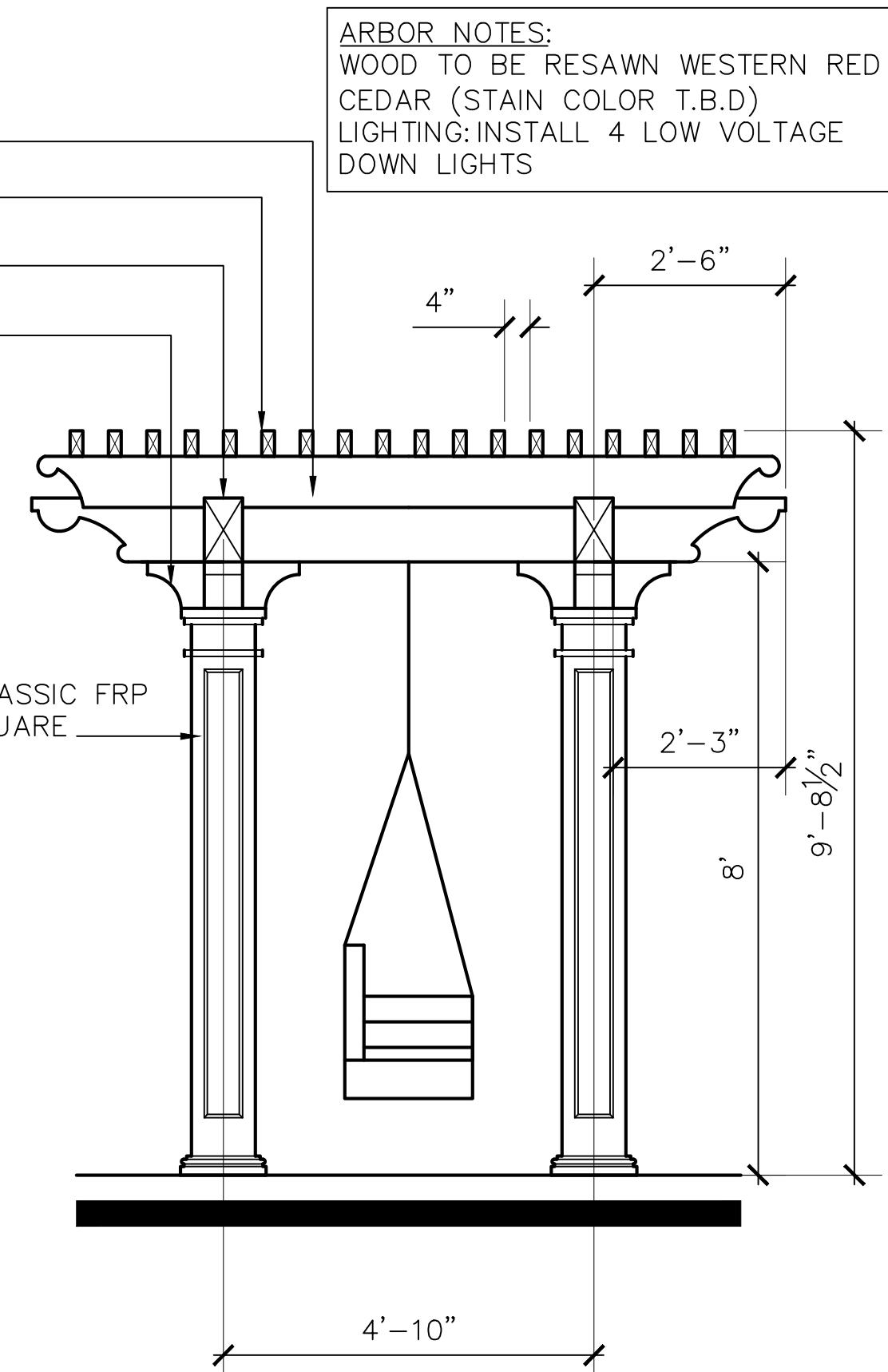
STEPPING PAD (IN LAWN)
SCALE: N.T.S.



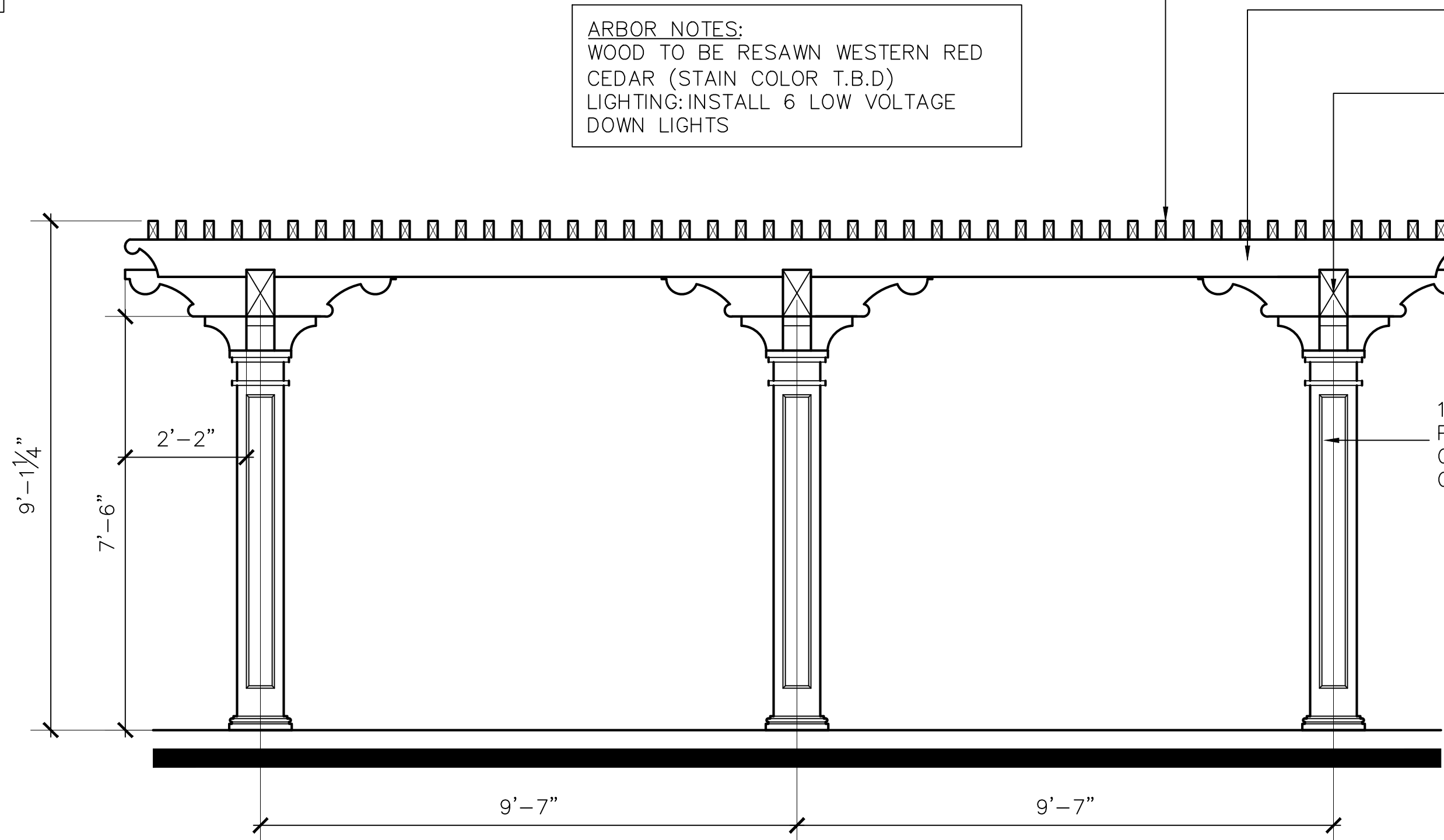
VEGETABLE BED
SCALE: 1/2"=10"



ARBOR WITH SWING
SCALE: 1/2"=10"

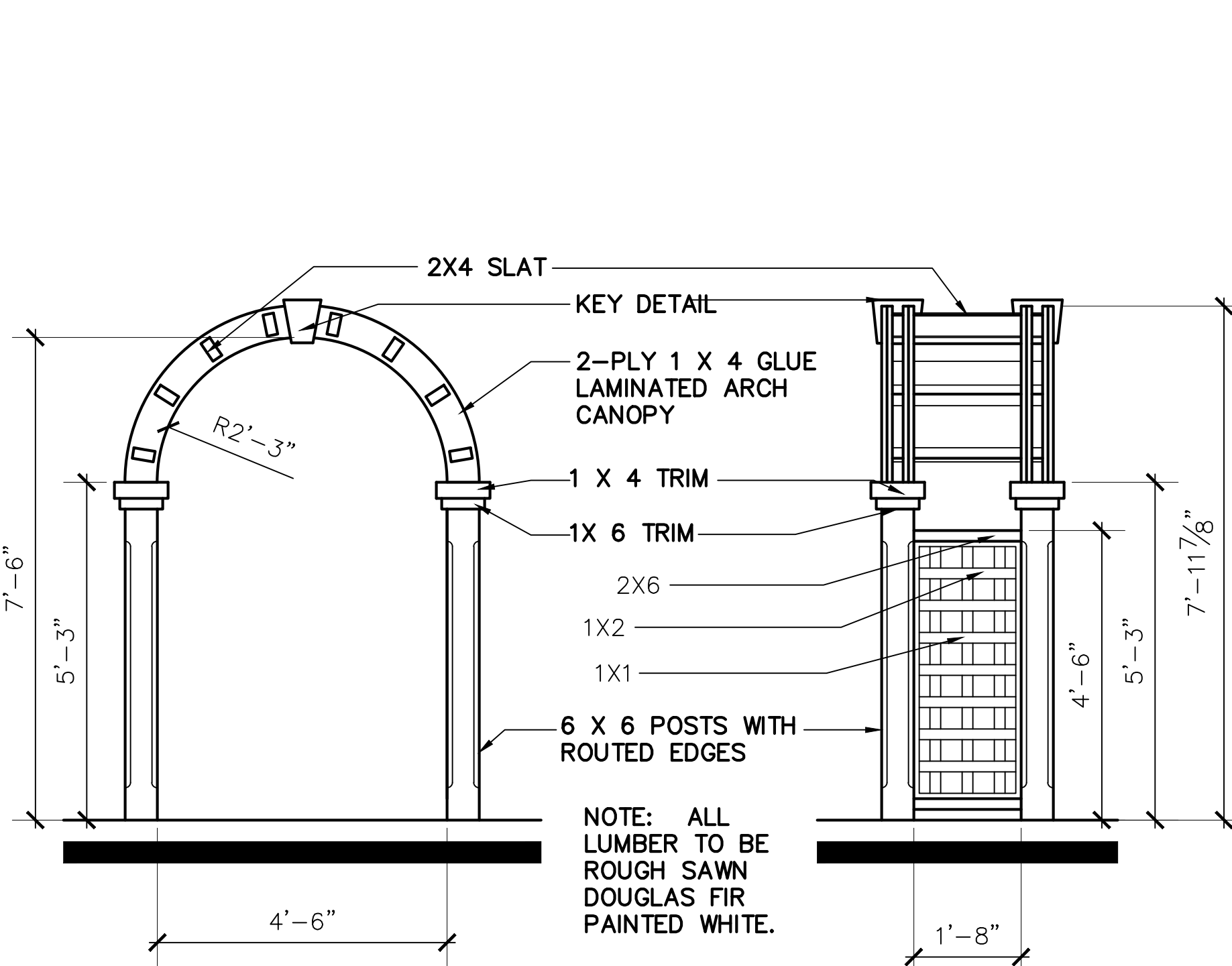
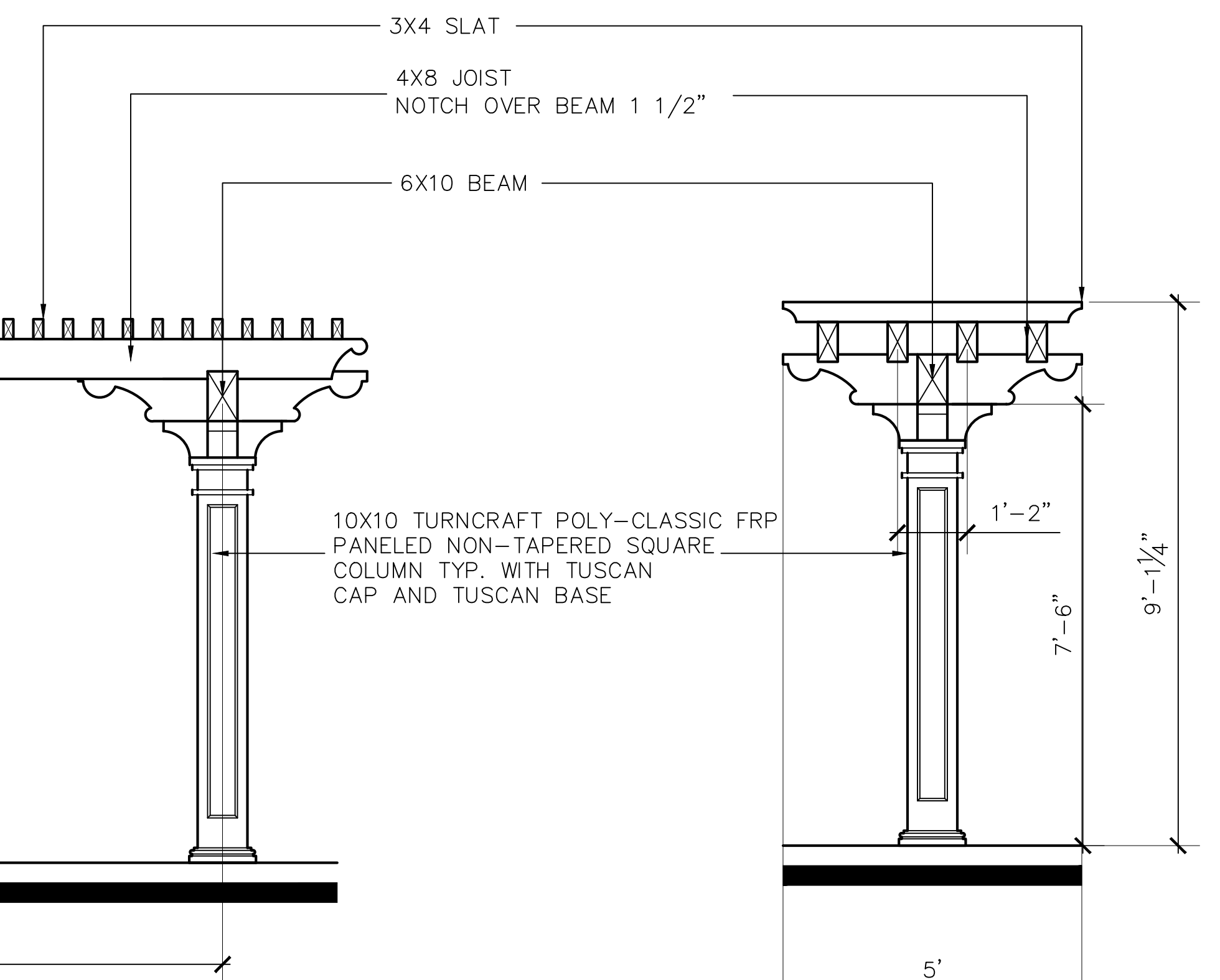


ARBOR NOTES:
WOOD TO BE RESAWN WESTERN RED CEDAR (STAIN COLOR T.B.D.)
LIGHTING: INSTALL 4 LOW VOLTAGE DOWN LIGHTS

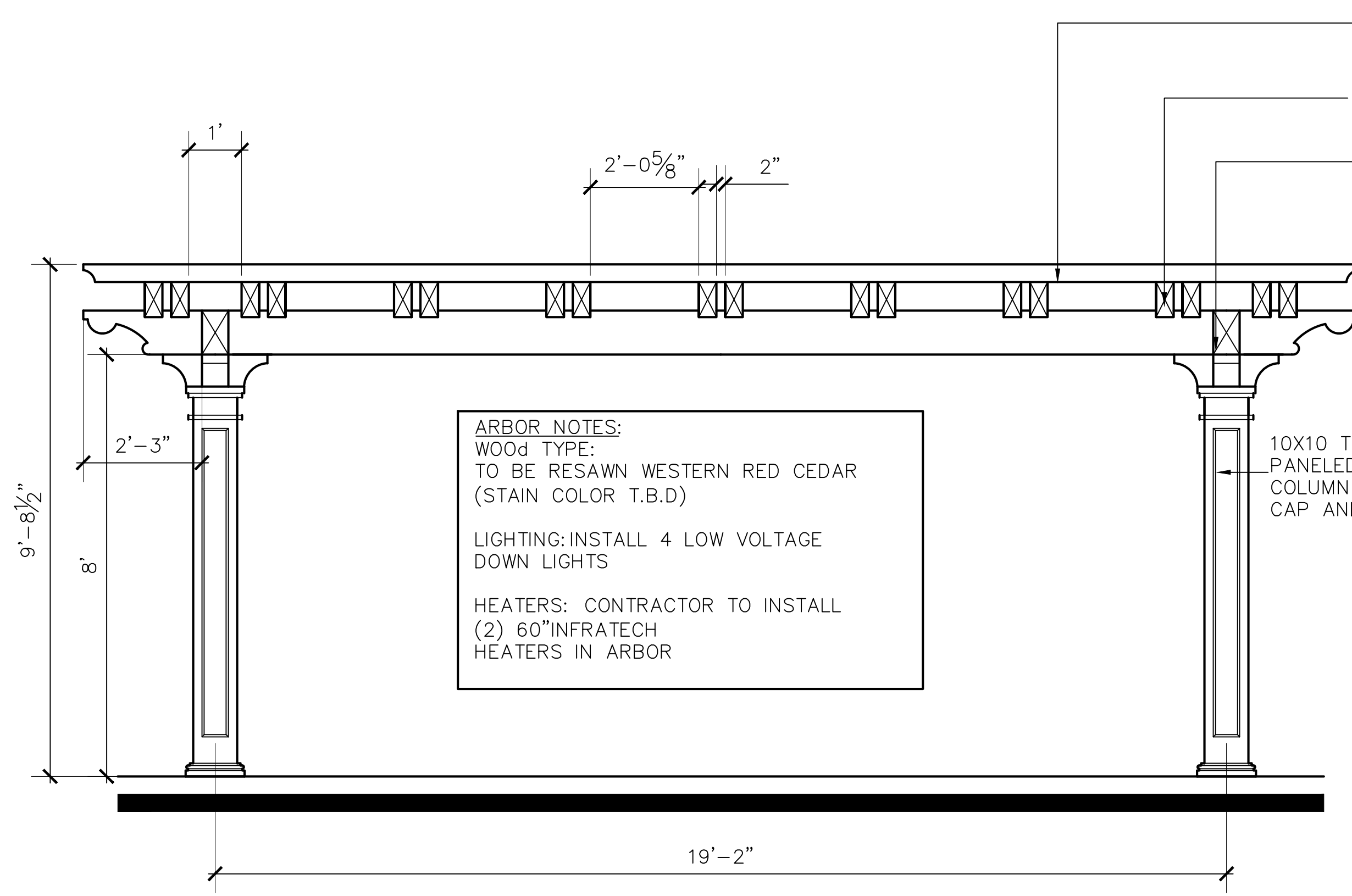


'T' ARBOR AT POOL
SCALE: 1/2"=10"

ARBOR NOTES:
WOOD TO BE RESAWN WESTERN RED CEDAR (STAIN COLOR T.B.D.)
LIGHTING: INSTALL 6 LOW VOLTAGE DOWN LIGHTS

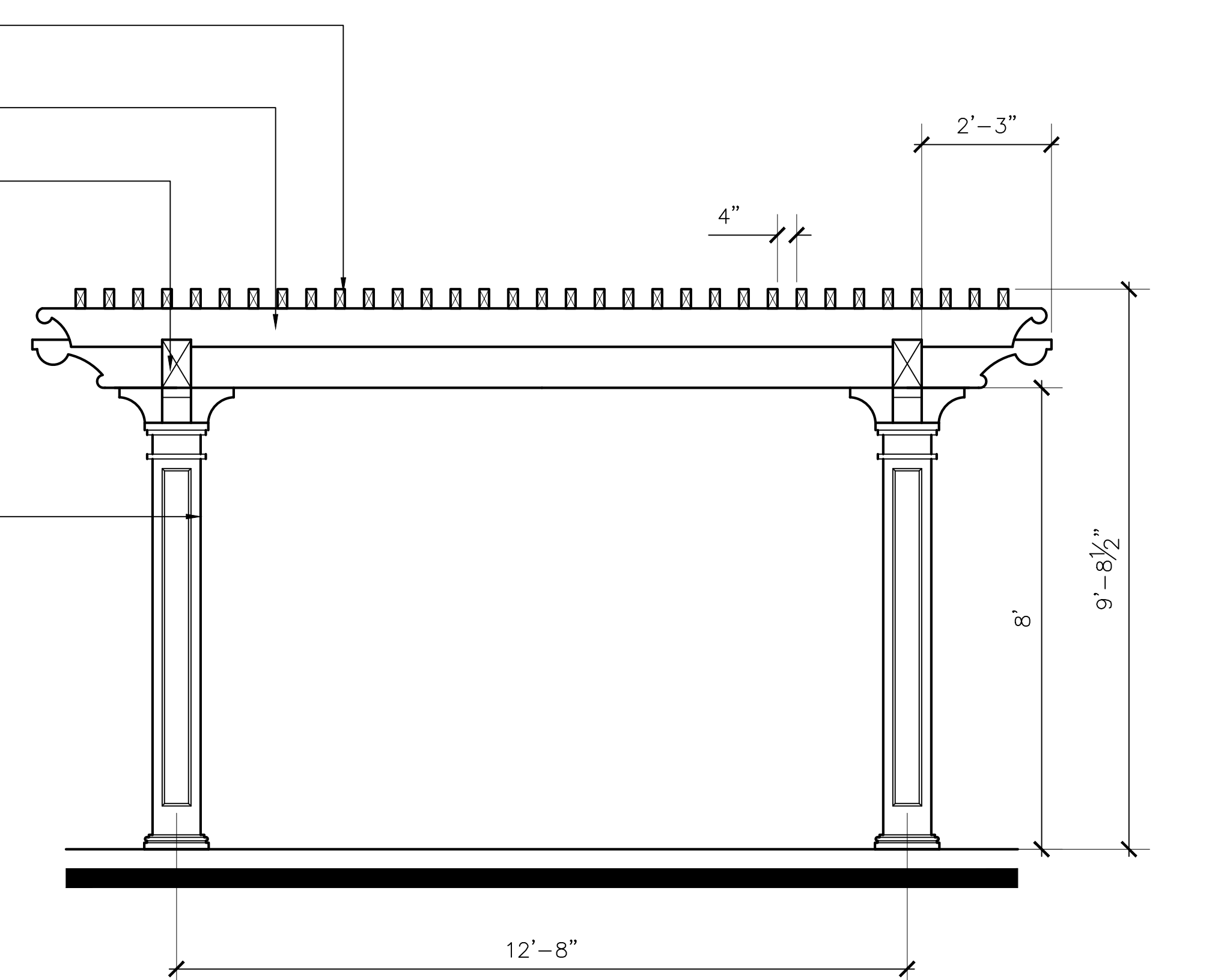


ROSE ARBOR
SCALE: 1/2"=10"



ARBOR AT BOCCE COURT
SCALE: 1/2"=10"

ARBOR NOTES:
WOOD TYPE: TO BE RESAWN WESTERN RED CEDAR (STAIN COLOR T.B.D.)
LIGHTING: INSTALL 4 LOW VOLTAGE DOWN LIGHTS
HEATERS: CONTRACTOR TO INSTALL (2) 60" INFRA TECH HEATERS IN ARBOR



MATERIALS NOTES

MATERIAL NOTES:
LEDGESTONE TYPE: CANYON CREEK LEDGESTONE
CAP AND COPPING TYPE:
TO BE FULL RANGE CONNECTICUT BLUESTONE WITH FLAMED AND EASED EDGES,

Peter Koenig Designs
LANDSCAPE DESIGN & PLANNING
1451 Danville Blvd., Suite 108
Alamo, CA 94507
(925) 743-9509
Fax (925) 743-9270

MARK & SARAH CUSUMANO RESIDENCE

634 HUNTLEIGH DR.
LAFAYETTE, CA # (415) 307-2692

TITLE

REVISIONS

SCALE: AS SHOWN

DATE: 03/26/2013

DESIGN: P.K.K. R.F.F.

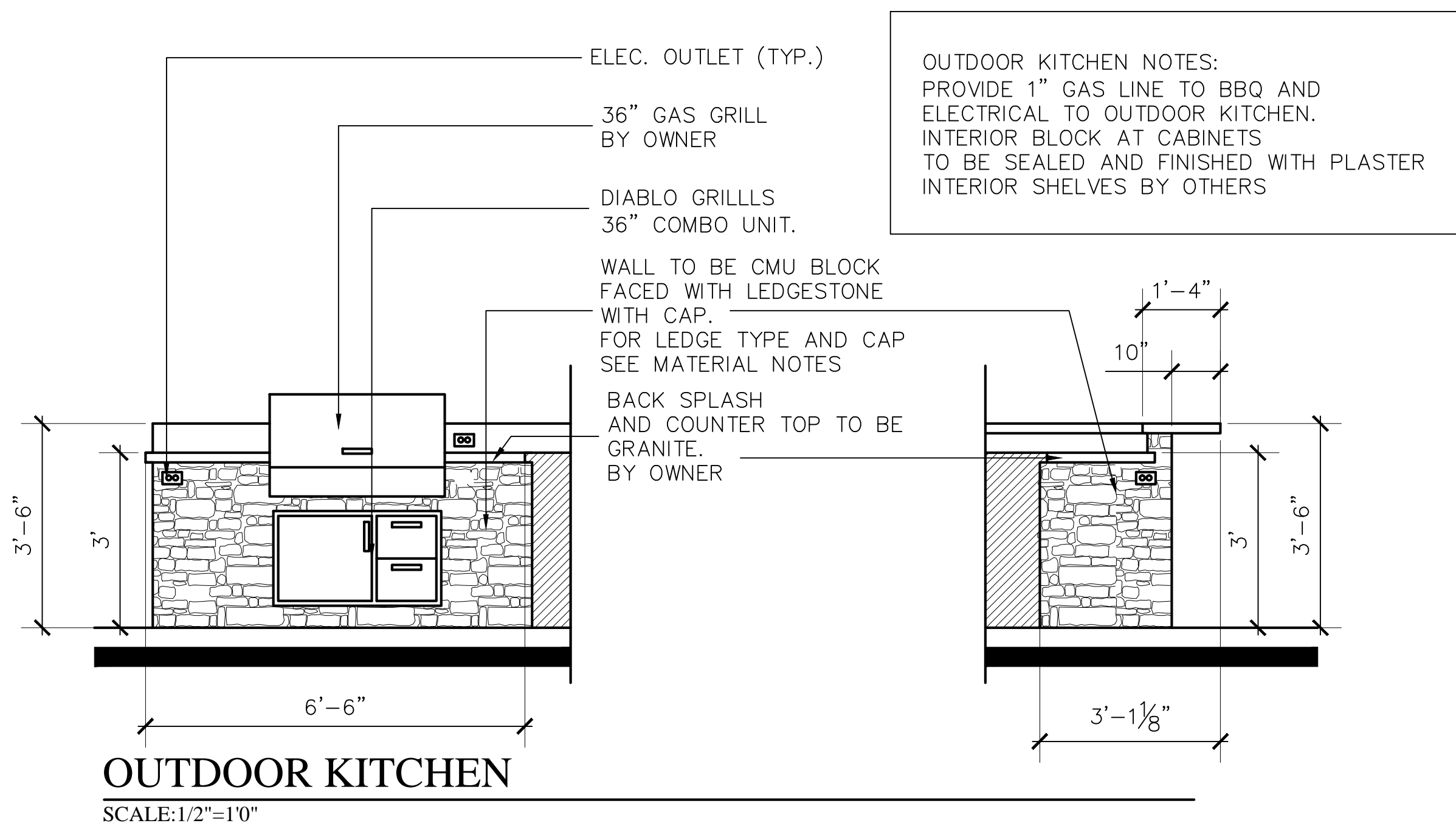
DRAWN: R.F.F. H.D.V.

SHEET

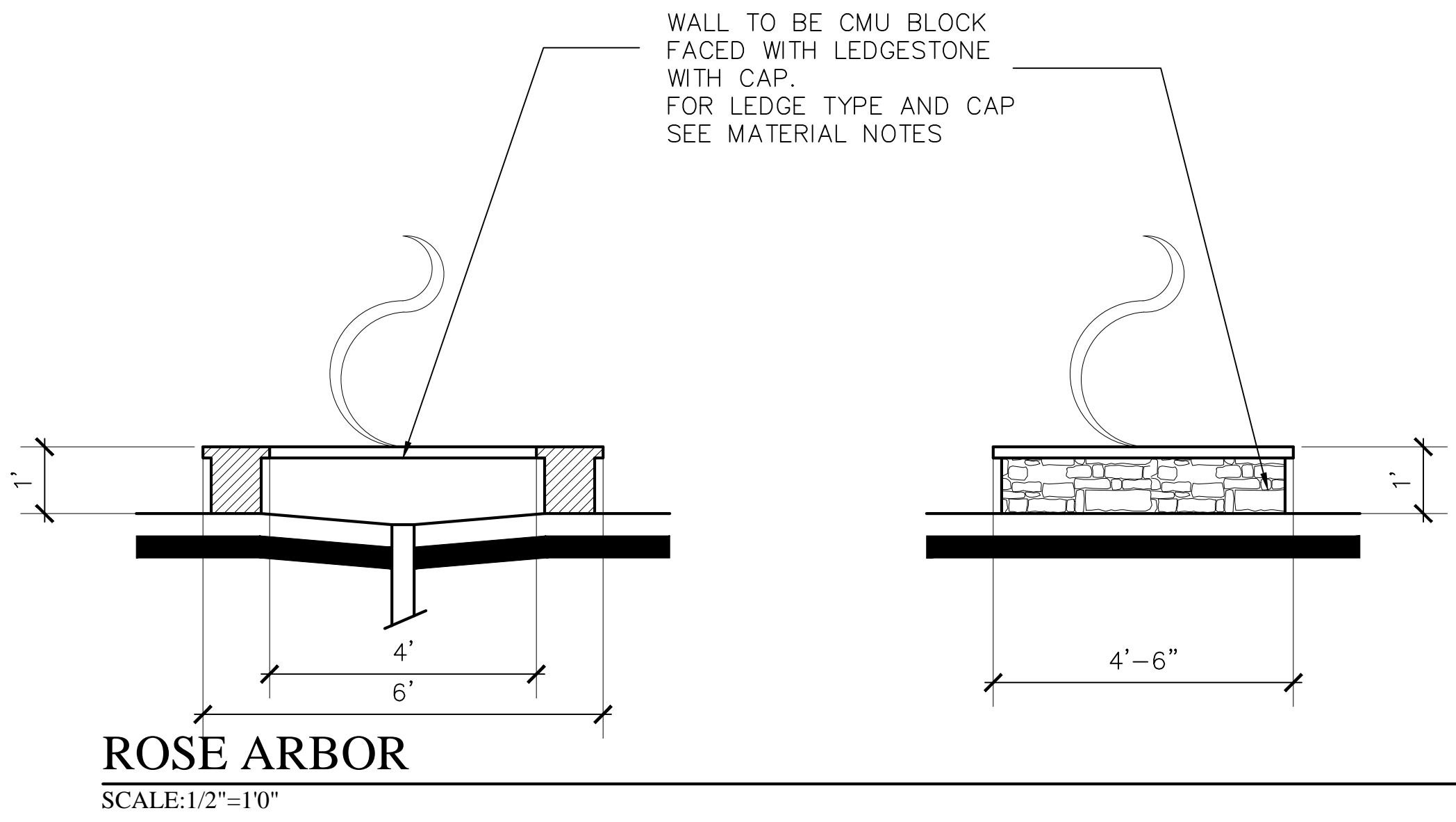
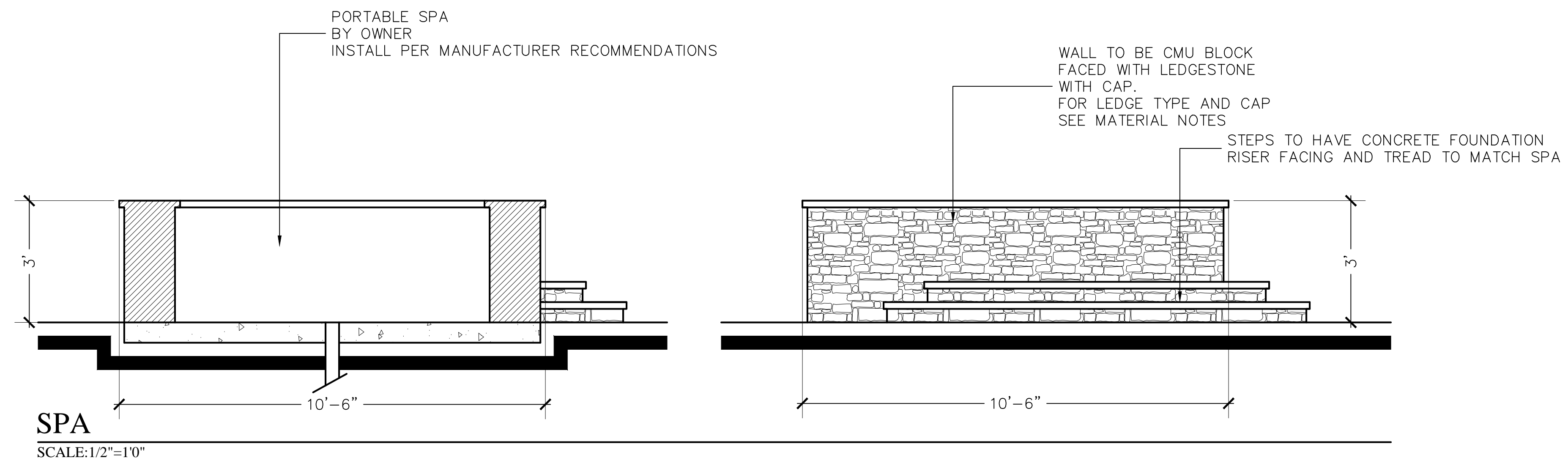
L-3

4

OF



OUTDOOR KITCHEN NOTES:
 PROVIDE 1" GAS LINE TO BBQ AND ELECTRICAL TO OUTDOOR KITCHEN.
 INTERIOR BLOCK AT CABINETS TO BE SEALED AND FINISHED WITH PLASTER
 INTERIOR SHELVES BY OTHERS



FIREPIT NOTES:
 1) CONTRACTOR TO INSTALL DRAIN
 2) CONTRACTOR TO PROVIDE 1" DIA. GAS LINE.
 3) CONTRACTOR TO INSTALL GAS KEY
 4) GAS FIRE RING SPECS BY OTHERS
 5) INTERIOR TO BE FIRE BRICK
 6) GAS FIRE LOG, TUMBLE GLASS BEADS, OR LAVA ROCK INFILL BY OTHERS

MATERIAL NOTES:
 LEDGESTONE TYPE: CANYON CREEK LEDGESTONE
 CAP AND COPPING TYPE:
 TO BE FULL RANGE CONNECTICUT BLUESTONE WITH FLAMED AND EASED EDGES,

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TITLE
REVISIONS
SCALE: AS SHOWN
DATE 03/26/2013
DESIGN P.K.K. R.F.F.
DRAWN R.F.F. H.D.V.
SHEET L-4 4 OF