

Glendora, CA

<http://qcode.us/codes/glendora/>

Contact: Jeff Kugel: Here's a link to our code. We went through and "tweaked" the standards about four years ago. There are two sections worth checking: 21.03.020, and 21.03.370

21.03.020 Off-street parking and loading.

A. Purpose. The purpose of this section is to ensure that sufficient off-street parking and loading areas are provided and properly designed and located in order to meet the parking and loading needs of specific uses and to protect the public health, safety and welfare.

B. Regulations for Off-Street Parking.

1. Off-street parking shall be provided according to the provisions of this section for:
 - a. Any new structure;
 - b. Any new use;
 - c. Any addition to, or change in the use of, a structure. The additional off-street parking shall be required only for the addition or change of use and not for the entire structure or use, except when the addition expands the original structure by twenty-five percent or more or when the change in use involves twenty-five percent or more of the area of the original use, then the parking area for the entire structure or use shall be brought into conformance with this section.
2. Required off-street parking shall be provided on the same parcel as the structure or use for which the parking is required, unless reciprocal parking or other arrangement is authorized pursuant to this title.
3. Required off-street parking shall be maintained in accordance with the requirements of this section for the duration of the use.
4. Required off-street parking shall be used exclusively for the temporary parking of vehicles and shall not be used for the sale, display, repair or storage of vehicles, merchandise or equipment or for any other use, unless authorized pursuant to this title.

C. Development Standards.

1. Parking Stall Dimensions.

Parking Stall	Width	Depth
Standard	9'	20'
Standard, adjacent to a side wall	10'	20'
Parallel*	10'	25'
Compact	8'	17'

* Smaller parallel parking stalls may be permitted depending upon location, street width and traffic flow, driveway width, and other safety considerations to accommodate additional landscape areas subject to approval of the city engineer.

2. Parking Aisle Widths.

Angle of Parking Stall	Aisle Width One-Way	Aisle Width Two-Way
Parallel	14'	18'

Angle of Parking Stall	Aisle Width One-Way	Aisle Width Two-Way
30 degree	14'	18'
45 degree	18'	20'
60 degree	18'	20'
90 degree	26'	26'

3. Compact Parking Stalls. For any use that provides more than ten open parking stalls, a maximum of twenty-five percent of the parking stalls in excess of ten may be compact parking stalls. All compact parking stalls shall be clearly marked: "COMPACT."
4. Handicapped Parking. Handicapped parking shall be provided in accordance with the requirements and standards as specified by the state of California.
5. Location of Parking Stalls. Parking stalls shall not be located in any required yard setback that is adjacent to a public right-of-way, except alleys.
6. Paving. Parking stalls and aisles shall be paved and maintained with asphaltic concrete or other materials approved by the city engineer.
7. Landscaping.
 - a. The parking area shall include landscaping equivalent to at least five percent of the total lot area. Setback areas required to be landscaped by other sections of this title shall not be considered part of the required five percent landscaping.
 - b. Parking area landscaping shall include a minimum of one twenty-four inch box tree for every three parking stalls and appropriate ground cover. Such landscaping shall be located throughout the parking area and planted according to the city forester's recommendations.
8. Screening. Parking areas shall be screened from public rights-of-way and adjacent land uses. Screening may consist of walls, fences, landscaping, berms or any combination to form an opaque screen three feet in height within the front or street side yard setback and six feet in height behind the front or street side yard setback as measured from finish grade. Parking areas may be lowered in grade to reduce the screening height requirements.
9. Striping. Abutting parking stalls shall be separated by double four-inch-wide stripes painted white or by other means approved by the department. All aisles, approach lanes and turning areas shall be clearly marked with directional arrows and lines as necessary to provide for safe traffic movement.
10. Lighting. Parking areas shall have lighting capable of providing adequate illumination for security and safety. Lighting standards shall be in scale with the height and use of buildings. Any illumination shall be directed away from adjacent properties and public rights-of-way. Low level lighting shall be used where possible.
11. Noise. Parking areas, including driveways and loading areas, used for primary circulation and for frequent idling of vehicle engines shall be designed and located to minimize the impact of noise on adjacent properties.
12. Safety Features. Parking areas shall meet the following standards:
 - a. Safety barriers, protective bumpers, curbs and directional markings shall be provided to ensure pedestrian/vehicular safety, efficiency, protection of landscaping, and prevention of encroachment onto abutting property.

- b. Visibility of pedestrians, bicyclists and motorists shall be provided when entering individual parking stalls, when circulating within a parking area, and when entering or leaving a parking area.
- c. Circulation patterns and the location and direction of access drives shall be designed and maintained in accordance with accepted principles of traffic engineering and traffic safety.

13. Design Standards.

- a. The circulation system shall be designed to provide separate vehicular and pedestrian circulation systems.
- b. Common driveways shall be provided when possible.
- c. Angled parking shall be provided when possible.
- d. Parking stalls shall not abut buildings. Parking areas shall be separated from buildings by raised concrete walkways and/or landscaping.
- e. Reciprocal parking and access agreements between adjacent properties shall be provided when possible.
- f. Vehicle access shall be provided along side streets when possible to minimize pedestrian/vehicular conflicts.
- g. Vehicle access shall be minimized and located as far as possible from street intersections to provide adequate stacking.
- h. Parking areas and pedestrian circulation shall be visible from buildings, especially entrances.
- i. The circulation system shall be designed so that pedestrian circulation will be parallel with vehicle traffic.
- j. The circulation system shall be designed to minimize the need for pedestrians to cross parking aisles and landscape areas.
- k. The circulation system shall be designed to provide pedestrian links between buildings and the street sidewalk system.
- l. The circulation system shall include adequate directional signs for entrances, exits, parking areas, loading areas, and other areas.

D. Single-Family Residence Standards.

1. Dwelling Unit Parking. For each single-family residence unit there shall be a minimum of two parking stalls located within a garage.
2. Location of Carports. Carports that are not an integral part of the main residence shall be located no closer than forty feet to any street and no closer than the residence to any adjacent street.
3. Driveways. A paved driveway shall be provided from a street or alley to garages and carports. Each driveway shall have a minimum vertical clearance of eight feet and a minimum width of eight feet.

4. Vehicle Backout. A minimum unobstructed distance of twenty-five feet shall be provided for vehicle backout from garages, carports and other parking stalls as measured to a street or the opposite side of an alley.

E. Multiple-Family Residence Standards.

1. Dwelling Unit Parking.

a. For each dwelling unit, there shall be one parking stall within a garage and one parking stall which may be open or covered, i.e., carport, or two spaces within a garage. For each dwelling unit, there shall be storage area provided in the required garage of one hundred fifty cubic feet plus an additional fifty cubic feet of storage for each additional bedroom over two bedrooms per unit. The storage area shall be designated for each unit.

b. Dwelling units having more than two bedrooms shall increase parking by two-tenths of a parking space for each bedroom in excess of two in each unit. Whenever the computation of the required number of parking stalls results in a fraction, the next higher whole number shall be the required number of parking stalls. See Section 21.03.020(E)(3) for example.

c. Tandem parking may be permitted if the parking stalls are located on a driveway which leads to a garage, carport or open parking stall and does not impede vehicular and/or pedestrian traffic.

d. Whenever the computation of the required number of parking stalls results in a fraction, the next higher whole number shall be the required number of parking stalls. For example, a multiple family development consisting of four units with three bedrooms each shall have 8.8 required parking stalls and 1.2 guest parking stalls. The 8.8 would change to nine required parking stalls and the 1.2 would change to two guest parking stalls.

2. Handicapped Parking. For each dwelling unit designed to accommodate the physically handicapped, the required parking shall be designed for the handicapped as required by the state of California.

3. Guest Parking. For every dwelling unit, there shall be a minimum of four-tenths covered or open parking stalls, or a combination of open and covered parking stalls, for guest parking. Whenever the computation of the required number of guest parking stalls results in a fraction, the next higher whole number shall be the required number of parking stalls. For example, a multiple-family development consisting of three units with three bedrooms each shall have seven and one-half required parking stalls and one and one-half guest parking stalls. The seven and one-half would change to eight required parking stalls and the one and one-half would change to two guest parking stalls.

Guest parking stalls shall be provided with permanent signs identifying them as guest parking stalls and shall be maintained at all times for guest parking.

4. Driveways. The minimum width of driveways shall be sixteen feet for one to fifteen units and twenty-six feet for sixteen or more units. Driveways shall have a minimum vertical clearance of eight feet.

5. Vehicle Backout. A minimum unobstructed distance of twenty-five feet shall be provided for vehicle backout from garages, carports and other parking stalls as measured to a street or the opposite side of an alley.

6. Senior Housing. For each senior housing unit, there shall be one parking stall enclosed in a garage and one hundred fifty cubic feet of additional storage area provided in the required garage. The storage area shall be designated for each unit. For each two senior housing units, there shall also be at least one open or covered guest parking space.

F. Mobilehome Park Standards. For every four mobilehome sites, or fraction, there shall be a minimum of nine open parking stalls.

G. Commercial, Institutional, Recreational and Industrial Use Standards.

1. The required number of parking stalls shall be provided for each use as specified below. For mixed uses, the required number of parking stalls shall be the sum of the number of parking stalls required for the individual uses computed separately. Whenever the computation of the required number of parking stalls results in a fraction, the next whole number shall be the required number of parking stalls for the use. Reserved or designated parking stalls are prohibited.

Use	Required Number of Parking Stalls
Animal care facilities	One for each 250 square feet of gross floor area
Arcades	The number shall be established by a parking study as prescribed in Section 21.03.020(H)
Automotive services: repair, full service stations, and washes	One for each 250 square feet of gross floor area, but not less than 7, plus one for each employee
Automotive services: self-service stations	One for each 350 square feet of gross floor area, but not less than 2
Building and landscape materials	One for each 250 square feet of interior retail space and one for each 2,000 square feet of exterior retail/storage area
Child day care centers	One for each 15 children and one for each employee
Churches, theaters, clubs, auditoriums, lodge halls and other places of fixed assembly	One for each 4 permanent seats in the main assembly area and one for each 40 square feet of seating area in the main assembly area where temporary or moveable seats are provided
Community care, convalescent, nursing and assisted living facilities	One for each 3 beds and one for each 3 employees
Convenience stores in conjunction with service stations	One for each 250 square feet of gross floor area, but not less than 7, plus one for each employee
Hospitals	One for each patient bed
Hotels and motels	One for each guest room, one for each manager's unit and one 15' x 35' stall reserved for recreational vehicles for each 15 rooms
Libraries and museums	One for each 500 square feet of gross floor area
Manufacturing, industrial and wholesale uses	One for each 500 square feet of gross floor area for the first 10,000 square feet and one for each 1,000 square feet of gross floor area thereafter

Offices	One for each 250 square feet of gross floor area, but not less than 8
Recreation and sports facilities, gyms, spas and health and fitness centers	The number shall be established by a parking study as prescribed in Section 21.03.020(H)
Restaurants and other places where food or beverages are served with a drive-through	One for each 100 square feet of gross floor area and one for each employee
Restaurants and other places where food or beverages are served without a drive-through	One for each 100 square feet of gross floor area and one for each employee
Retail sales and services	One for each 250 square feet of gross floor area
Retail sales and services, including shopping centers, with over fifty thousand square feet of gross floor area	One for each 250 square feet of gross floor area or the number may be established by a parking study as prescribed in Section 21.03.020(H)
School, educational	One for each employee, one for each 20 elementary and junior high school students; one for each 5 senior high school students; and 10 for each 20 college classrooms
School, vocational	One for each 2 students and one for each employee
Swap meet, indoor	The number shall be established by a parking study as prescribed in Section 21.03.020(H)
Warehousing	One for each 1,000 square feet of gross floor area for the first 5,000 square feet of gross floor area. One for each 2,000 square feet of gross floor over 5,000 square feet, plus one for each vehicle stored on the premises
Uses not otherwise specified in this subsection	The number shall be established by a parking study as prescribed in Section 21.03.020(H)

Drive-Through Businesses. A stacking space at least one hundred twenty feet long and ten feet wide with eight feet of vertical clearance shall be provided for drive-through businesses. The stacking space shall not block any parking stalls or any portion of a traffic lane.

3. Driveways. The minimum width of driveways shall be twenty-six feet. Driveways shall have a minimum vertical clearance of eight feet.

H. Parking and Loading Study.

1. The director may require a parking and loading study. The parking and loading study shall be submitted to the director for approval. The action of the director shall be final unless appealed as prescribed in Section 21.01.030(F) of this title.

2. The parking and loading study shall be prepared by a registered traffic engineer. The study shall describe all proposed uses and show the recommended number and layout of parking stalls and loading areas including:

- a. Standard, compact and handicapped parking stalls and the basis for the number of parking stalls proposed in each category;
- b. Access;
- c. Driveways, aisles and circulation patterns;
- d. Landscaped areas;

- e. Signs;
 - f. Such other information as the director may deem necessary to adequately and completely describe the plan.
3. The plan shall be approved as submitted or with conditions if the following findings are made:
- a. The parking and loading plan will adequately provide for the parking and loading needs of the development;
 - b. The parking and loading plan will not adversely affect traffic patterns;
 - c. The parking and loading plan will not be detrimental to the public health, safety or welfare.

I. Recreational Vehicles.

1. Purpose. The purpose of the recreational vehicle (RV) code is to clearly define what is considered a recreational vehicle and to identify locations and standards for storage of recreational vehicles in residential zones and to identify requirements for temporary parking of recreational vehicles in order to protect the integrity, value and character of residential neighborhoods along with public health and safety.

2. Definitions.

Recreational vehicles or RV's are defined to cover both recreational vehicles that are motorized and non-motorized.

“Motorized recreational vehicle” means a motor home built on a truck or bus chassis or a van chassis which usually has a section overhanging the cab. All these vehicles are powered by internal combustion engines that run on gasoline, diesel, batteries or other fuel. Van campers and pickup truck campers are excluded from the recreational vehicle definition. Inoperative vehicles pursuant to Section 9.36.010(8) of the Glendora Municipal Code are prohibited.

“Non-motorized recreational vehicle” means a conventional travel trailer or a fifth wheel trailer utilized for recreational purposes and designed to be towed by a vehicle. Boats, horse trailers, utility trailers for storing recreational equipment or other equipment and all-terrain vehicles stored on trailers utilized for recreational purposes are considered non-motorized recreational vehicles. Pickup truck camper shells which have been removed from the vehicle and stored are considered non-motorized recreational vehicles and shall conform to the provisions of this title.

The following diagrams represent examples of recreational vehicles as defined by this subsection and are not meant to be a complete list of examples:

RECREATIONAL VEHICLE EXAMPLES



Motor Home



5th Wheel Trailer



Travel Trailer



Tent Trailer



Sea-doo (or other equipment such as a boat or motor

cycles) on trailer



Horse Trailer



Utility Trailer enclosed example



Utility Trailer open example

The following examples are exempt from the recreational vehicle definition:



Van Camper is excluded



Pickup Truck Camper is excluded

“Recreational vehicle storage” means on-site residential parking of a recreational vehicle on a parking space approved for a recreational vehicle by this section that is separate from the required off-street parking for a single-family residence.

“Temporary recreational vehicle parking” means short term parking for the purposes of cleaning and prepping which can occur on a public street with a valid city permit issued by the city pursuant to Section 10.12.021 of the Glendora Municipal Code or on private property within the front setback on an approved driveway leading to a garage for a time period not to exceed seventy-two hours at any one time.

“RV yard area” means those areas on a residential zoned parcel where an RV may or may not be stored relative to the main residential building and orientation to the street.

“RV front yard” for the purposes of RV storage means a space extending the width of a parcel between the front property line and the front of the residence and not less than the required front setback for the zone. If the front of the residence varies relative to the front property line, the RV front yard shall follow the front of the residence, not an imaginary straight line taken from the nearest wall of the residence to the street.

“RV side yard” for the purposes of RV storage means a space extending from the RV front yard area to the RV rear yard area between the side property line and the side wall of the main residence.

“Short RV side yard” for the purposes of RV storage means a space between the side property line and the shortest side wall of the main residence and extending from the RV rear yard area up to three feet into the RV front yard area provided it does not extend beyond the main residence building line nearest the street, does not encroach into the front setback or into the required twenty-five-foot backout distance from the garage.

“RV rear yard” for the purposes of RV storage means a space extending the width of a parcel between the rear property line and a line parallel with the rear wall of the main residence.

“Corner lot RV front yard” for the purposes of RV storage means the street frontage with the property address.

“RV street side yard” for the purposes of RV storage means the RV yard area adjacent to a street on a corner lot between the RV front yard as determined by the corner lot RV front yard definition and the RV rear yard.

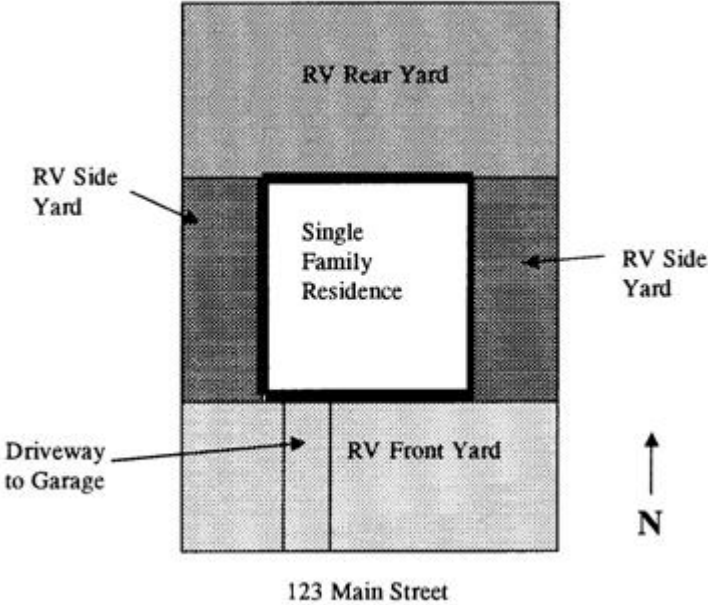
“Irregular non-conforming RV lot” for the purposes of RV storage means a lot where one side is twenty-five percent or less of the other side, resulting in a lot depth of less than one hundred feet. Lot depth is measured from the mid-point of the front lot line to the mid-point of the rear lot line.

“Irregular non-conforming RV lot side yard” means the side yard for the narrowest side beginning at the side of the driveway farthest from the residence to the side property

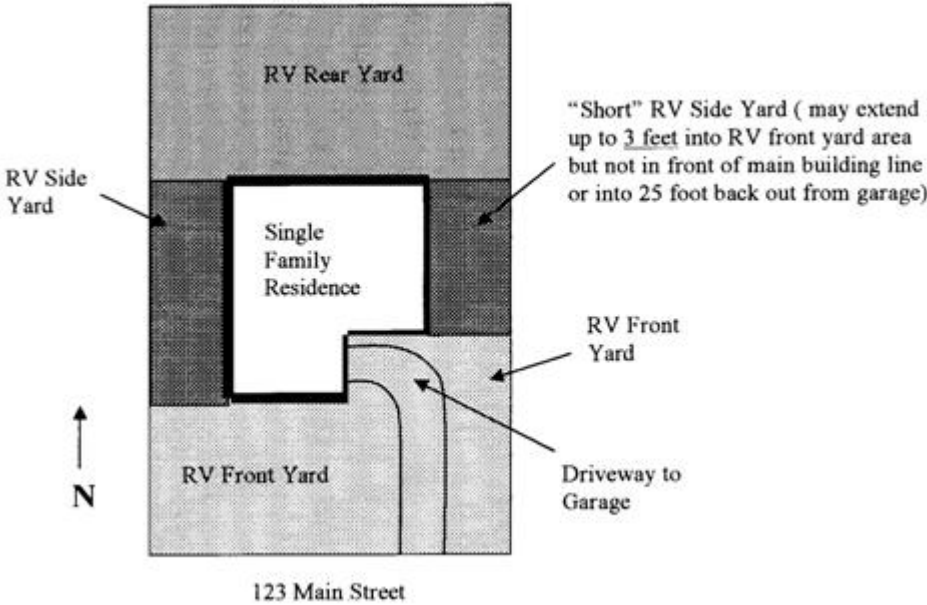
line of the narrowest side and extending from the front property line to the RV rear yard.

RV Yard Area Diagrams Examples (no scale):

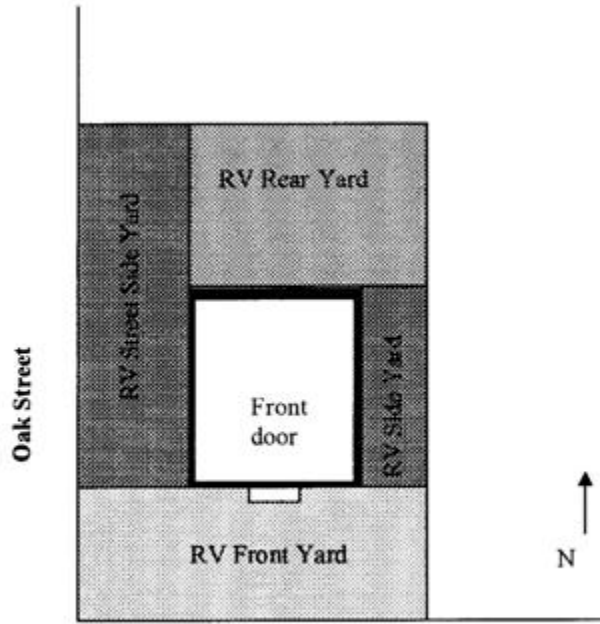
Square residential layout



"L" residential layout

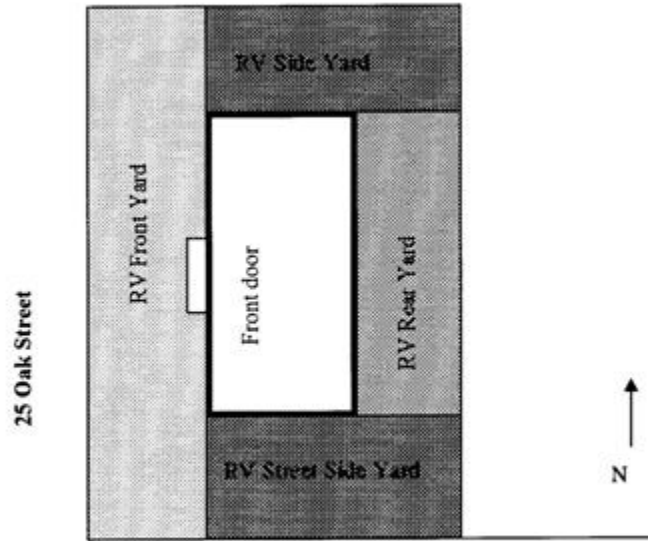


Corner lot RV yard area – Address and front door facing narrowest street frontage



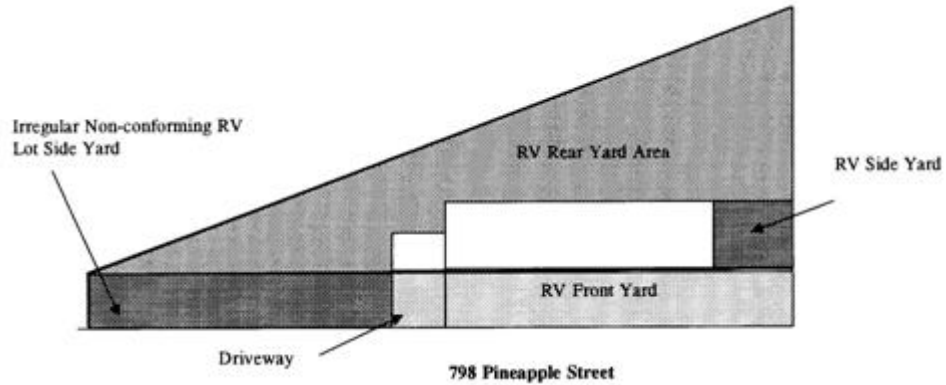
456 Elm Street

Corner lot RV yard area – Address and front door facing longest street frontage



Elm Street

Non-conforming lot yard areas



3. Zones which allow RV Parking. Other than as permitted under Title 21 Use Table C and Route 66 Specific Plan Use Table 6-1, recreational vehicles may only be stored on single-family zoned lots or lots in which a single-family structure is occupying the parcel even though the lot may be zoned for multifamily structures. The ability to maintain storage of recreational vehicles on multiple-family zoned parcels shall only be permitted as long as there remains a sole single-family structure on the parcel. No commercial RV storage shall be permitted in any residential zone. Commercial RV storage facilities shall refer to Table C of Title 21 and Table 6-1 of the Route 66 Specific Plan in Title 21. In all cases, storage must maintain compliance with all other sections of this code.

4. Registered Owner. The registered owner of an RV stored on the property must either be the owner of the property or use the property as their primary residency. This subsection does not apply to a single RV stored on the property as a result of visiting guest(s) as long as the storage does not exceed seventy-two hours.

5. RV Storage Standards.

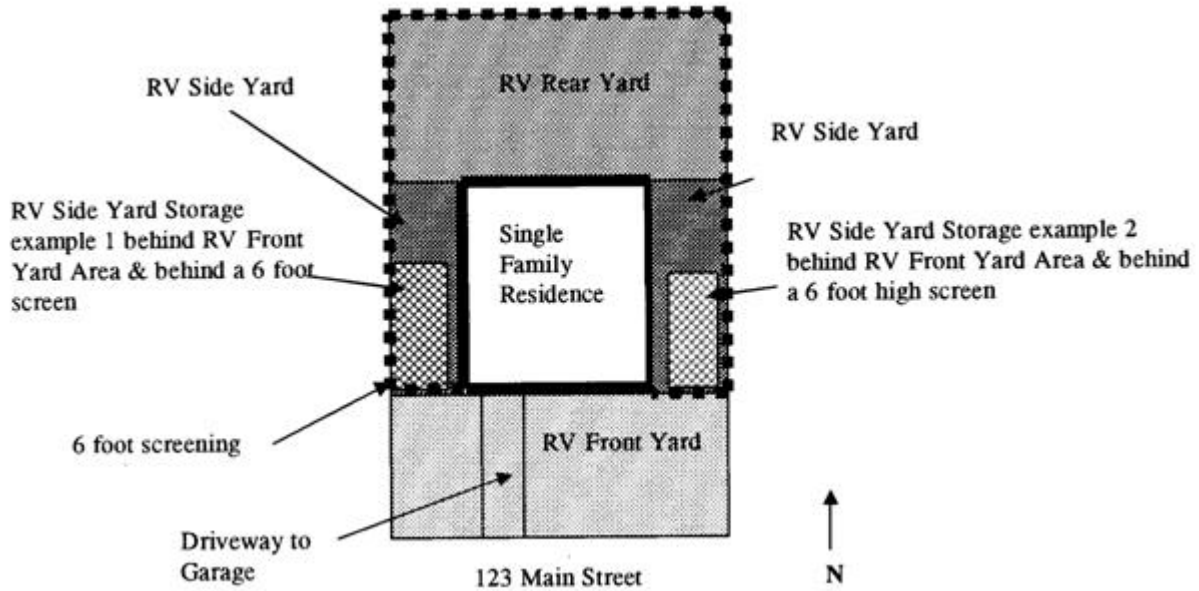
a. Front Yard RV Storage. No storage of recreational vehicles may occur in the front yard area or in front of the main residence of the property unless an administrative review permit has been granted, with the exception of a slight encroachment extending from the side yard into the front yard not to exceed three feet and does not encroach into the twenty-five-foot back-out distance from a garage and is screened with a six-foot wall or solid fence. The only other exception to this subsection shall be the temporary parking of the RV on a driveway leading to a garage for the purpose of prepping the vehicle for use or cleaning the vehicle after its usage. In no case shall that period of time exceed seventy-two hours. Recreational vehicle temporary parking within the front setback and/or in front of the main residence on driveways leading to a garage shall not encroach onto the sidewalk area or public right-of way. This subsection shall pertain to RV parking on private residential property. Temporary RV parking on public streets for any period of time is administered through Chapter 10.12 of the Glendora Municipal Code.

b. Rear Yard RV Storage. Storage of recreation vehicles in the rear yard area is permissible as long as there is a six-foot wall or solid fence to screen the vehicle from view. The RV shall not encroach closer to than two feet to any wall or fence. Screening walls, gates and fences shall be required to obtain any necessary review, approvals and permits.

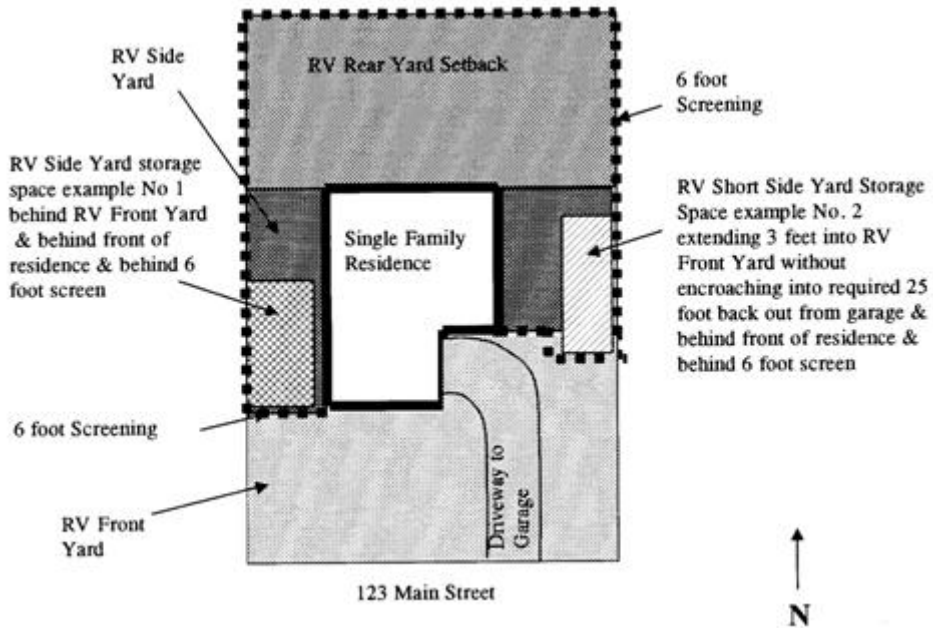
c. Side Yard RV Storage. Recreational vehicle storage is permitted in the RV side yard area behind the front setback and behind the RV front yard provided it is screened to a height of six feet as required by this title.

RV side yard storage examples:

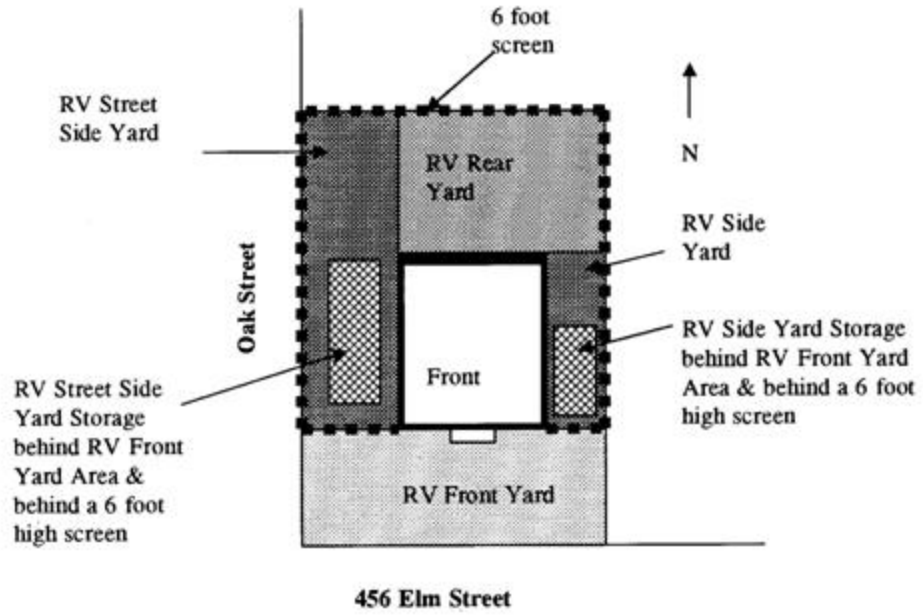
Side yard RV storage – Square residential building layout



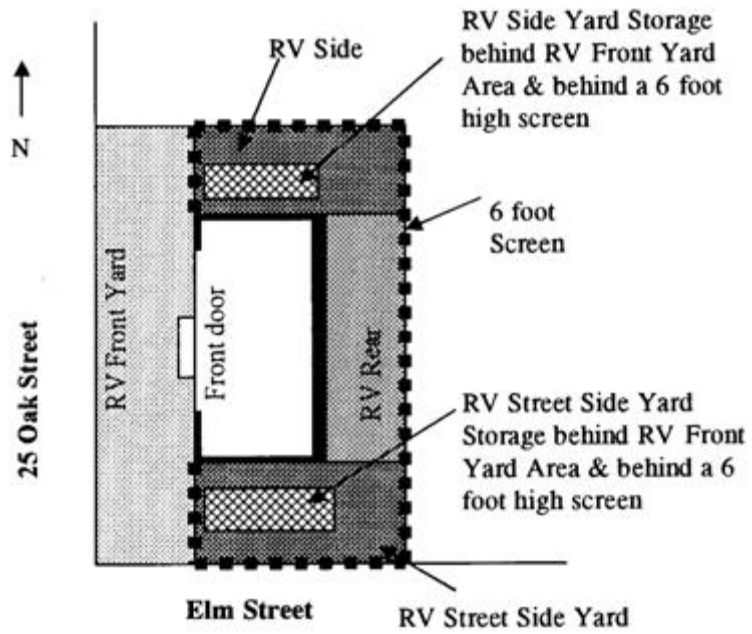
Side yard RV storage – “L” residential building layout



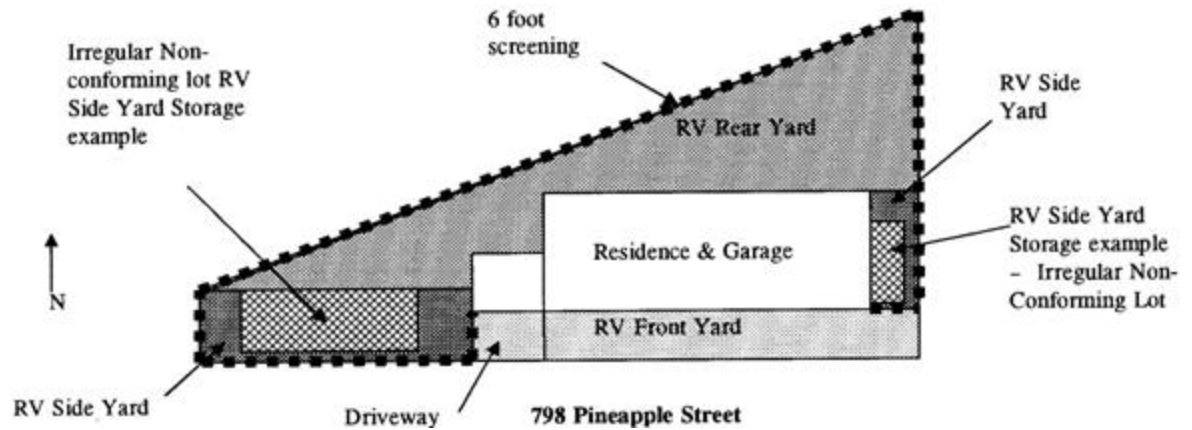
Side yard corner lot RV storage, address and front door on narrowest frontage



Side yard corner lot RV storage—Address/front door on longest street frontage



RV side yard storage—Irregular non-conforming lots



6. Parking Surface for RV Storage. RV storage may be on any surface. If the surface is vegetation, it must be maintained pursuant to GMC Section 9.36.020(4).
7. Access to Side or Rear Yard Storage Area. Generally access to side or rear yard storage areas shall be from the existing driveway. However in some cases, the access may require the recreational vehicle to access over a curb and sidewalk. In those cases, the property owner shall be responsible for the maintenance and if determined by the public works director the replacement of curb and sidewalk damaged by such use.
8. Screening. Acceptable screening is considered a wall or solid fence structure that has obtained all required approvals and permits from the city. Materials for screen fencing shall be masonry, wood or wrought iron with view-obscuring material. Materials for screening gates shall be wood or wrought iron with view-obscuring material. In no case shall an RV screening wall or fence along the side yard or rear yard be higher or lower than six feet as measured to the highest finish grade. Recreational vehicle storage in a side yard area shall be screened from view from the public right of way as provided by this section. A gate is not required.
9. Temporary Coverings. No temporary coverings such as tarps or cloth screens are permitted. Fitted covers and permanent canopies are permitted and may be used as long as they are specifically designed for a recreational vehicle. All fitted covers and permanent canopies shall be maintained in good condition. Permanent canopies are structures which are permanently fixed to the ground and shall comply with all required building codes and Glendora Municipal Code Section 21.04.010(D)(2) Accessory Buildings.
10. Living Quarters. Recreational vehicles shall not be used as living quarters when stored on residential or commercial property within the city except as provided in Section 19.20.140 of the Glendora Municipal Code.
11. Temporary On-Street Parking. Temporary on-street RV parking shall be permitted for a maximum of seventy-two hours at any one time with an approved temporary RV street parking permit issued by the city as provided by Section 10.12.021, Early Morning Parking-Temporary Permits, of the Glendora Municipal Code.
12. Grandfathering of 1993 RV Parking Exemptions. The recreation vehicles granted an exemption through the 1993 ordinance and recorded with the community preservation division shall continue to be recognized as valid until the specific vehicle referenced in the exemption is no longer located on the property.

13. Enforcement. The effective date of the ordinance codified in this section shall be six months from the date of adoption by the city council.

14. Administrative Review Permit for RV Storage in RV Front Yard.

a. Storage of an RV in an RV front yard area of a single-family residential zone or a multiple-family residential zone developed with only one residence is prohibited unless an administrative review permit is approved by the director of planning and redevelopment.

b. The application for an administrative review permit for RV storage in a RV front yard area shall be denied unless all of the following five findings for approval can be made:

(A) The subject property is unique in size or configuration;

(B) There is no available space in a garage, side yard or rear yard area which can accommodate the RV in conformance with this title;

(C) The property can accommodate screening from view from the public right-of-way and surrounding properties with a six-foot high wall/fence and gate constructed with view obscuring material. The six-foot high wall/fence and gate screening does not encroach into the front yard setback area or twenty-five-foot back-out distance from a required garage;

(D) The RV can be parked parallel to the side property line and as near the property line as possible;

(E) Only one RV can qualify for an administrative review permit for RV front yard storage on the subject property.

c. The following development standards shall be incorporated into conditions of approval for the administrative review permit:

(A) The RV storage space shall not encroach or block the required twenty-five-foot back-out distance from an approved garage;

(B) The director may impose additional conditions as needed to ensure compliance with regulations and to reduce adverse impacts to surrounding neighborhood properties.

d. The administrative permit shall be approved or denied by the director of planning and redevelopment with appeal to the planning commission. The action of the planning commission, shall be based on findings (A) through (E) and supported by factual findings in order to grant the appeal. The action of the planning commission shall be final with no further administrative appeal possible.

J. Off-Street Loading Standards. Every nonresidential use shall have permanently maintained off-street loading spaces pursuant to the following provisions.

1. The following minimum number of loading spaces shall be provided for each use:

a. Commercial, institutional, hospital and senior group housing uses:

Gross Floor Area	Spaces Required
Less than 5,000 sq. ft.	None
5,000—20,000 sq. ft.	One

Gross Floor Area	Spaces Required
Each additional 20,000 sq. ft.	One additional, maximum of 6

b. Office uses:

Gross Floor Area	Spaces Required
Less than 10,000 sq. ft.	None
10,000—40,000 sq. ft.	One
Each additional 20,000 sq. ft.	One additional, maximum of 4

c. Wholesale, warehousing, and industrial uses:

Gross Floor Area	Spaces Required
Less than 10,000 sq. ft.	One
Each additional 20,000 sq. ft.	One additional

d. Requirements for uses not specifically listed shall be determined by the director based upon the requirements for comparable uses and upon the particular characteristics of the proposed use.

2. The following design standards shall apply to all off-street loading spaces:

a. Dimensions. Required loading spaces shall be not less than fifteen feet in width, fifty feet in length, with fourteen feet of vertical clearance.

b. Lighting. Loading spaces shall have lighting capable of providing adequate illumination for security and safety. Lighting standards shall be in scale with the height and use of buildings. Any illumination shall be directed away from adjacent properties and public rights-of-way. Low level lighting shall be used where possible.

c. Location. Loading spaces shall be located and designed to ensure that all vehicular turning maneuvers occur on site. Loading spaces shall not be located in any required yard setback that is adjacent to a public right-of-way.

d. Screening. Loading areas adjacent to residentially zoned property shall have a six-foot-high solid architecturally treated wall with a stucco or equivalent finish or material approved by the director.

e. Striping. Loading areas shall be striped indicating the loading spaces and identifying the spaces for loading only. The striping shall be maintained in a clear and visible manner.

f. Surfacing. Loading areas shall be surfaced with a minimum thickness of four inches of asphaltic concrete over a minimum thickness of six inches of an aggregate base material or as otherwise approved by the city engineer.

K. Second-Kitchen Unit Standards.

1. Second-Kitchen Unit Parking.

a. Designated parking spaces specific to the second-kitchen unit shall be provided in addition to the parking spaces required for the primary dwelling unit;

b. The second-kitchen unit shall provide one parking space per bedroom. A minimum of one parking space to be located in a garage or carport with the allowance of tandem parking for the additional spaces. (Ord. 1957 § 2, 2012; Ord. 1893 § 3, 2009; Ord. 1919 § 2, 2009; Ord. 1782 § 8, 2003; Ord. 1768 §§ 6—7, 2003; Ord. 1634 §§ 1, 2, 1995; Ord. 1618 § 1 Exh. A (part), 1993)

