

A P P E N D I X C

PROJECT CONCEPTUAL
SITE PLANS





THE TERRACES OF LAFAYETTE

LAFAYETTE, CALIFORNIA

BY

O'BRIEN LAND COMPANY. L.L.C.

PROJECT TEAM

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AMD FAMILY TRUST
 C/O GAGEN McCOY
 279 FRONT STREET
 DANVILLE, CALIFORNIA
 (925) 837-0585

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 ROCKLIN, CALIFORNIA
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CIVIL ENGINEER
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LANDSCAPE ARCHITECT
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 2540 CAMINO DIABLO, SUITE 201
 WALNUT CREEK, CALIFORNIA
 (925) 941-6455

ZONING SUMMARY

APN: 232-150-027
 Address: 3233 Dear Hill Road, Lafayette, California 94549

General Plan: Administrative/Professional Office/Multi-Family Residential
 Zoning: Administrative/Professional Office District (APO)

General Plan
 The GP designation for the property provides professional office and/or multifamily residential uses. The height limit is 35 feet and the maximum density for multi-family residential uses is 35 units per acre. The property is also within the Deer Hill Rd. Specific Planning Area which states that "Lands adjacent to Pleasant Hill Road and south of Deer Hill Road are targeted for Administrative Professional Office including residential, up to 35 du/acre".

Zoning
 Multi-family is a conditionally permitted use within the APO Zone. The zoning district does not include any limitations on residential FAR, coverage or density so the number of units will only be limited by what can be achieved within the height and setback requirements. The property is 22.27 acres which yields up to 779 units, based on the General Plan density of 35 du/a.

Height
 The APO zone includes 4 different height limits, varying from 22.97' to 36.09', depending upon location within the property. LMC 6-1006 includes a definition (applicable to the APO Zone) for building height which calls for measuring "... to the highest point of a building or structure from the lowest point where the lowest foundation wall intersects with the ground." All structures on the proposed plan comply with this definition.

Hillside Overlay District
 Per the "Lafayette Area Ridge Map" dated 7/8/02 the property is located within the Hillside Overlay District but, per LMC 6-2013(a) no Hillside Development Permit is required. The property is not a "residential lot", nor does the project include a subdivision of land or a lot line adjustment.

Parking
 Parking requirements within the APO Zone are referred to the general parking section of the LMC, Chapter 6-6. Chapter 6-6 does not include parking for residential uses as they are typically included within each residential zone. The residential zone which most closely resembles the proposed project type is the Mixed Density Residential (M-R-B). Parking requirements for the M-R-B Zone are:

1-BDR	1.2 per unit
2-BDR	1.5 per unit
3-BDR	2.0 per unit
Guest	1 per 5 units

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THE TERRACES OF LAFAYETTE
 DEER HILL ROAD, LAFAYETTE, CALIFORNIA

Loving & Campos Architects Inc.
 RESTRICTED ARCHITECTURAL
 DRAWINGS

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COVER SHEET

SCALE: NO SCALE
 DATE: 3 / 21 / 2011

REVISIONS:
 5 / 6 / 2011
 9 / 21 / 2011

PROJECT NO. 10050

G0.1
 SHEET OF



VIEW OF MAIN ENTRY ON PLEASANT HILL ROAD



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PERSPECTIVE

SCALE: NO SCALE
DATE: 3 / 21 / 2011

REVISIONS:
5 / 6 / 2011

PROJECT NO. 10050

G0.2

SHEET OF



VIEW TOWARDS MOUNT DIABLO



THE TERRACES OF LAFAYETTE
DEER HILL ROAD, LAFAYETTE, CALIFORNIA

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5 / 6 / 2011

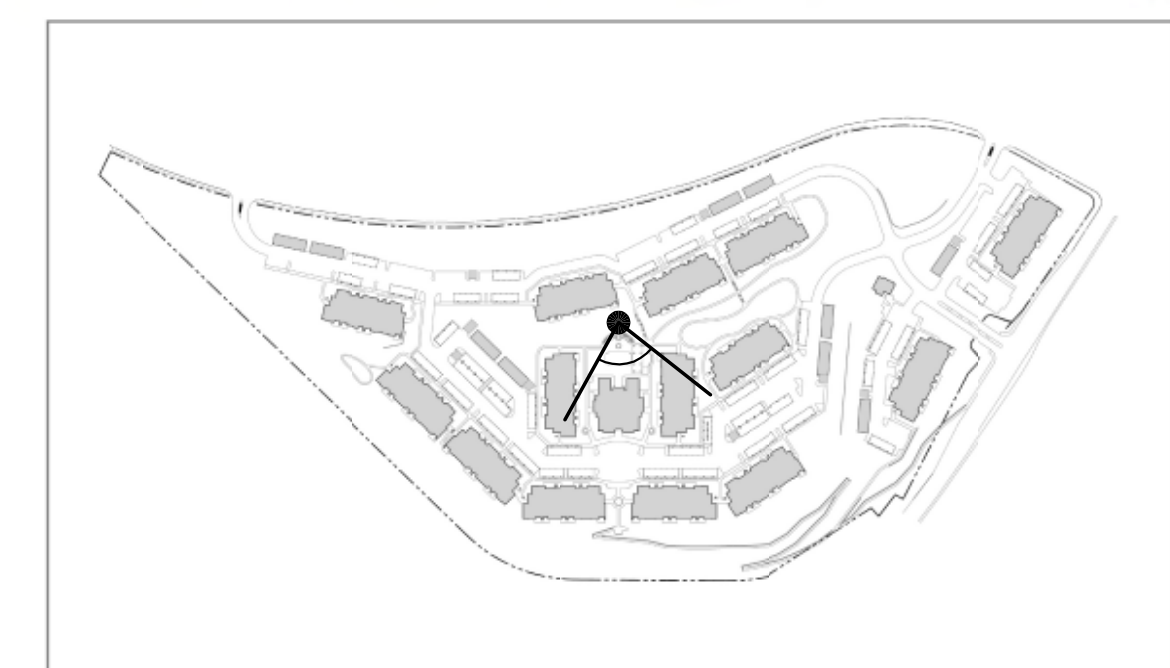
PROJECT NO. 10050

G0.3

SHEET OF



VIEW OF CLUBHOUSE POOL AREA



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PROJECT NO. 10050

G0.4

SHEET OF



VIEW OF TERRACES COMMUNITY LAWN AREA



THE TERRACES OF LAFAYETTE
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PERSPECTIVE

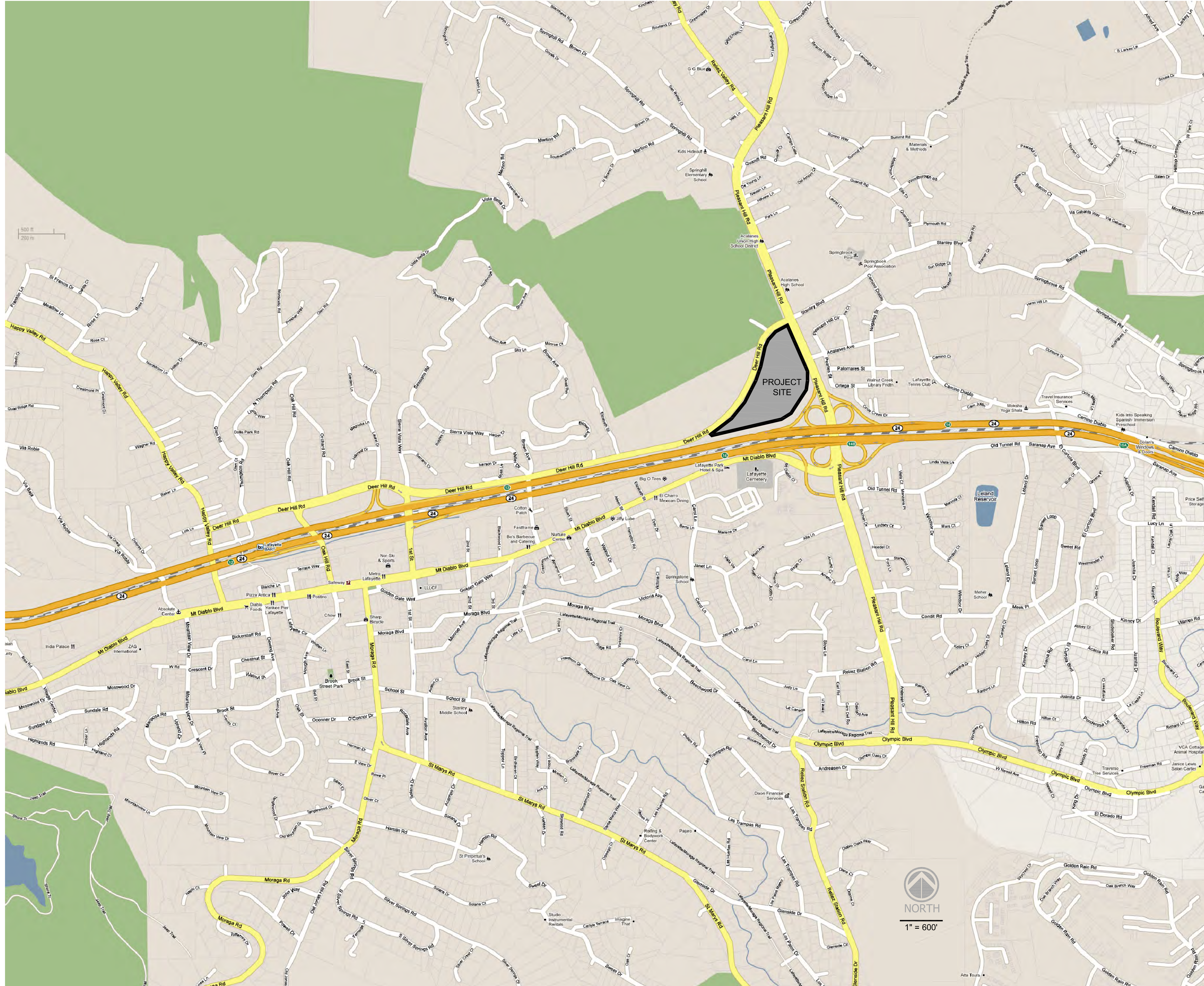
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G0.5

SHEET OF



THE TERRACES OF LAFAYETTE
DEER HILL ROAD, LAFAYETTE, CALIFORNIA

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VICINITY MAP

SCALE: 1" = 600'-0"
DATE: 3 / 21 / 2011

REVISIONS:
5 / 6 / 2011

PROJECT NO. 10050

A0.1

SHEET OF

PARCEL: 232-150-028
 PROPERTY ADDRESS: 1175 PLEASANT HILL ROAD
 OWNERSHIP: DETTMER FAMILY TRUST
 FINISH FLOOR ELEV: ---
 NUMBER OF STORIES: ---
 BUILDING AREA: ---

PARCEL: 232-150-021
 PROPERTY ADDRESS: 3232 DEER HILL ROAD
 OWNERSHIP: MICHAEL & SARA KIM
 FINISH FLOOR ELEV: 375 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 3,240 SF

PARCEL: 232-140-016
 PROPERTY ADDRESS: 3312 DEER HILL ROAD
 OWNERSHIP: DETTMER FAMILY TRUST
 FINISH FLOOR ELEV: 445 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,017 SF

PARCEL: 232-140-004
 PROPERTY ADDRESS: 3320 DEER HILL ROAD
 OWNERSHIP: ZBIGNIEW NAGLICKI TRUST
 FINISH FLOOR ELEV: 441 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,608 SF

PARCEL: 232-140-010
 PROPERTY ADDRESS: 3360 DEER HILL ROAD
 OWNERSHIP: DETTMER FAMILY TRUST
 FINISH FLOOR ELEV: ---
 NUMBER OF STORIES: ---
 BUILDING AREA: ---

PARCEL: 177-040-005
 PROPERTY ADDRESS: 1200 PLEASANT HILL ROAD
 OWNERSHIP: ACALANIES UNION HIGH SCHOOL DISTRICT
 FINISH FLOOR ELEV: 327 FT.
 NUMBER OF STORIES: 1
 BUILDING AREA: ±274,000 SF

PARCEL: 177-061-027
 PROPERTY ADDRESS: 3255 STANLEY BLVD.
 OWNERSHIP: V & A OIL INC.
 FINISH FLOOR ELEV: 327 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 160 SF

PARCEL: 177-061-025
 PROPERTY ADDRESS: 1161 PLEASANT HILL CIRCLE
 OWNERSHIP: PATRICIA HARVEY TRUST
 FINISH FLOOR ELEV: 317 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,632 SF

PARCEL: 177-061-020
 PROPERTY ADDRESS: 1159 PLEASANT HILL CIRCLE
 OWNERSHIP: PHILIP & MARIA MA
 FINISH FLOOR ELEV: 319 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 2,769 SF

PARCEL: 177-061-018
 PROPERTY ADDRESS: 1155 PLEASANT HILL CIRCLE
 OWNERSHIP: STEPHANIE LINARES
 FINISH FLOOR ELEV: 317 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 2,340 SF

PARCEL: 177-061-002
 PROPERTY ADDRESS: 1153 PLEASANT HILL CIRCLE
 OWNERSHIP: EAST BAY MUNICIPAL UTILITY DISTRICT
 FINISH FLOOR ELEV: ---
 NUMBER OF STORIES: ---
 TOTAL LIVING AREA: ---

PARCEL: 177-061-001
 PROPERTY ADDRESS: 1149 PLEASANT HILL CIRCLE
 OWNERSHIP: EAST BAY MUNICIPAL UTILITY DISTRICT
 FINISH FLOOR ELEV: ---
 NUMBER OF STORIES: ---
 TOTAL LIVING AREA: ---

PARCEL: 177-081-012
 PROPERTY ADDRESS: 1143 PERALES STREET
 OWNERSHIP: ROBERT & DOROTA KOSTECKI
 FINISH FLOOR ELEV: 302 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,821 SF

PARCEL: 177-081-017
 PROPERTY ADDRESS: 1141 PERALES STREET
 OWNERSHIP: VICTOR & DOROTHY SILVA TRUST
 FINISH FLOOR ELEV: 300 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,406 SF

PARCEL: 177-081-018
 PROPERTY ADDRESS: 1137 PERALES STREET
 OWNERSHIP: VICTOR & DOROTHY SILVA TRUST
 FINISH FLOOR ELEV: 298 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,254 SF

PARCEL: 177-081-008
 PROPERTY ADDRESS: 3211 ORTEGA AVENUE
 OWNERSHIP: CLARK & LILA LOMAX TRUST
 FINISH FLOOR ELEV: 285 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,534 SF

PARCEL: 177-081-019
 PROPERTY ADDRESS: 3215 ORTEGA AVENUE
 OWNERSHIP: MARIE SWITKES
 FINISH FLOOR ELEV: 287 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 1,640 SF

PARCEL: 177-081-016
 PROPERTY ADDRESS: 3219 ORTEGA AVENUE
 OWNERSHIP: DAVID & GAIL WARD
 FINISH FLOOR ELEV: 291 FT.
 NUMBER OF STORIES: 1
 TOTAL LIVING AREA: 2,268 SF

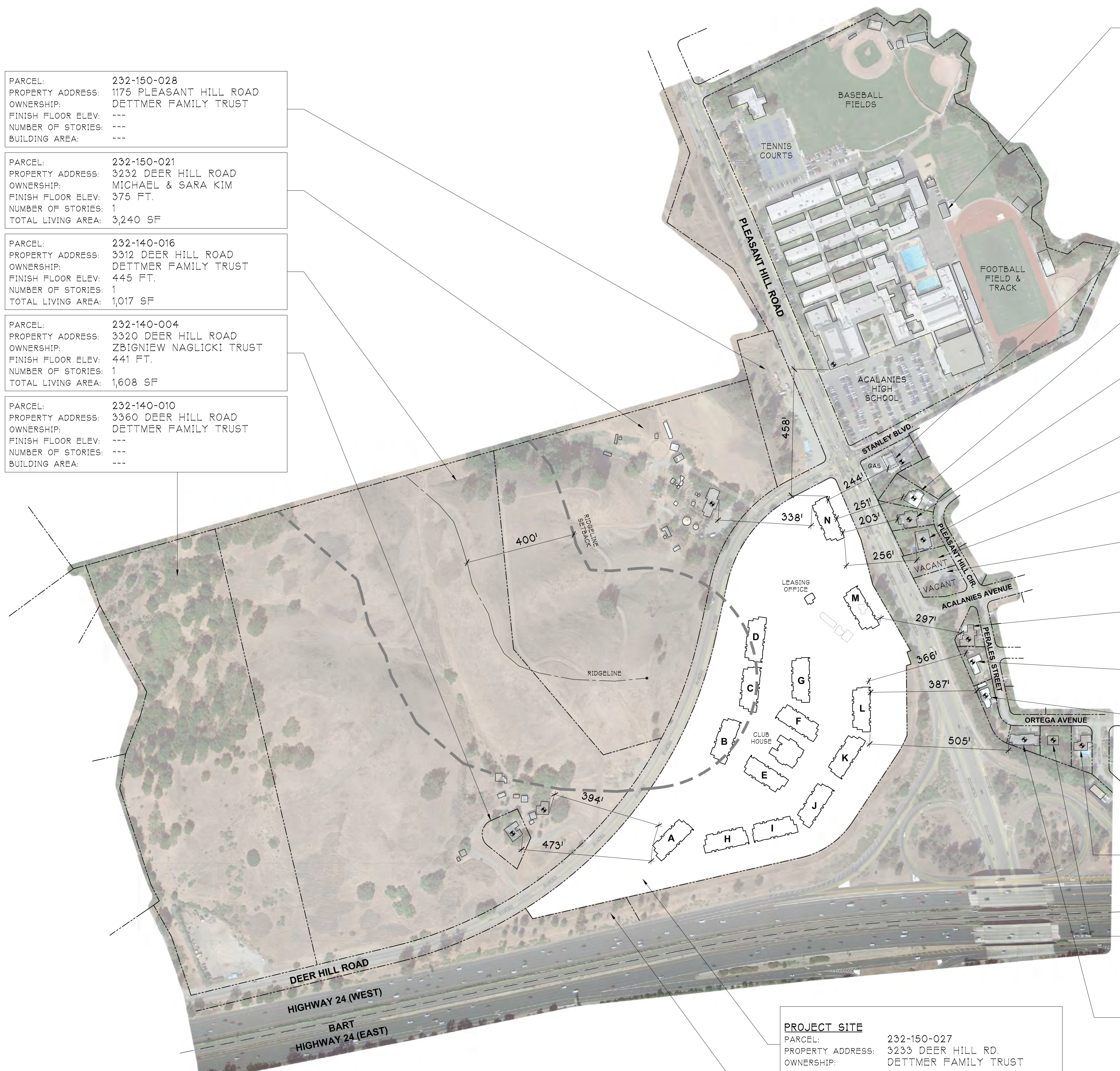
PROJECT SITE
 PARCEL: 232-150-027
 PROPERTY ADDRESS: 3233 DEER HILL RD.
 OWNERSHIP: DETTMER FAMILY TRUST

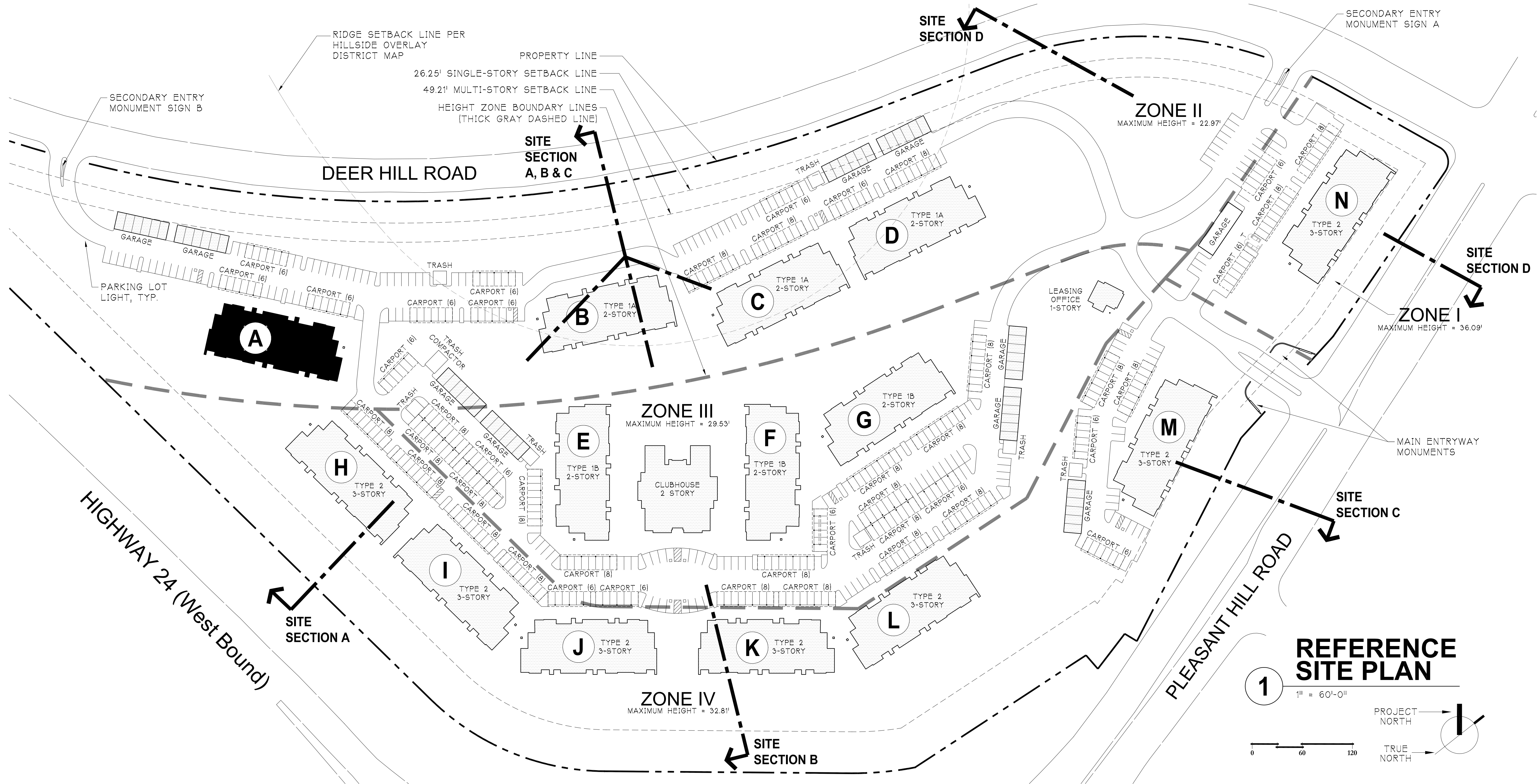
PARCEL: 232-140-014
 PROPERTY ADDRESS: DEER HILL RD.
 OWNERSHIP: CALTRANS
 FINISH FLOOR ELEV: ---
 NUMBER OF STORIES: ---
 BUILDING AREA: ---

LEGEND
 ♣ FINISH FLOOR ELEVATION WORK POINT
 ELEVATION HEIGHTS TAKEN FROM GOOGLE
 EARTH 6 SOFTWARE APPLICATION AVAILABLE
 AT www.google.com/earth

PARCEL DATA
 PARCEL NUMBER, PROPERTY ADDRESS, AND
 TOTAL LIVING AREA WERE TAKEN FROM THE
 NEW VERSION OF THE CCMAP APPLICATION
 WITH ENHANCED FUNCTIONALITY. THE CCMAP
 WEBSITE IS FOUND AT <http://ccmap.us/gis/>

1 CONCEPTUAL CONTEXT MAP
 1" = 200'-0"
 TRUE NORTH





THE TERRACES OF LAFAYETTE
DEER HILL ROAD, LAFAYETTE, CALIFORNIA

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REFERENCE SITE PLAN

SCALE: AS SHOWN
DATE: 3/21/2011

REVISIONS:
5/6/2011
9/21/11

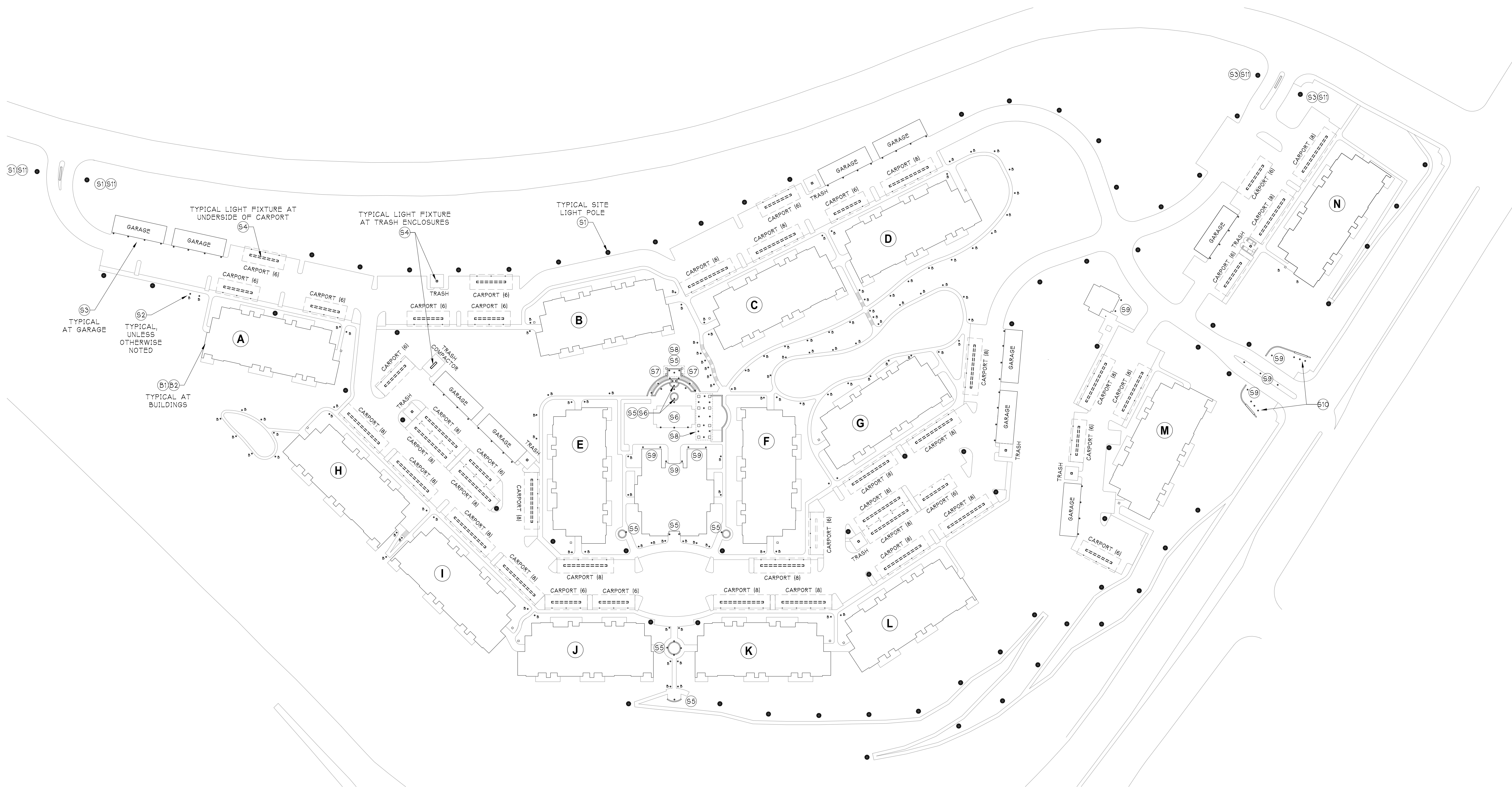
PROJECT NO. 10050

A0.3
SHEET OF

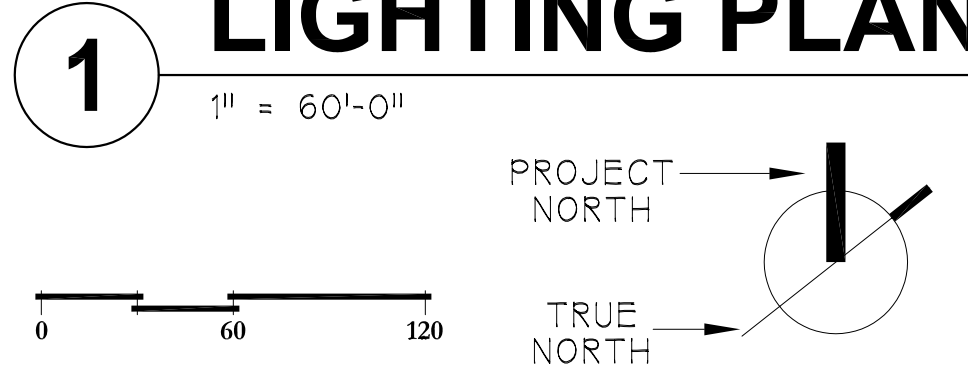
PROJECT DATA			
SITE AREA	970,272 SF [22.27 ACRES]		
TOTAL FLOOR AREA	410,547 SF [INCLUDING ACCESSORY STRUCTURES]		
TOTAL BUILDING FOOTPRINT	204,832 SF [INCLUDING ACCESSORY STRUCTURES]		
COVERAGE	21.11% [INCLUDING ACCESSORY STRUCTURES]		
NUMBER OF UNITS	315		
DENSITY	14.1 UNITS/ ACRES		
PARKING			
RESIDENTIAL UNIT TYPE	REQUIRED PARKING RATIO	UNITS	REQUIRED PARKING STALLS
1-BDR	1.2	140	168
2-BDR	1.5	140	210
3-BDR	2.0	35	70
GUEST	0.2	315	63
TOTAL RATIO	511 STALLS REQUIRED (BASED ON M-R-B) 1.62 PER UNIT		
PARKING SUMMARY			
GARAGES	60		
CARPORPTS	316		
UNCOVERED	191		
TOTAL RATIO	567 STALLS PROVIDED (INCLUDES 12 ACCESSIBLE) 1.80 PER UNIT		

BUILDING DATA & UNIT COUNTS						
DESCRIPTION	1ST FLOOR AREA (SF)	2ND FLOOR AREA (SF)	3RD FLOOR AREA (SF)	TOTAL AREA (SF)	BLDG. TYPE	MAX. HEIGHT (FEET)
APARTMENT A	9,425	9,545	---	18,970	1A	22.97'
APARTMENT B	9,425	9,545	---	18,970	1A	22.97'
APARTMENT C	9,425	9,545	---	18,970	1A	22.97'
APARTMENT D	9,425	9,545	---	18,970	1A	22.97'
APARTMENT E	9,425	9,545	---	18,970	1B	29.53'
APARTMENT F	9,425	9,545	---	18,970	1B	29.53'
APARTMENT G	9,425	9,545	---	18,970	1B	29.53'
APARTMENT H	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT I	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT J	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT K	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT L	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT M	9,425	9,545	9,545	28,515	2	32.81'
APARTMENT N	9,425	9,545	9,545	28,515	2	36.09'
SUBTOTAL	131,950	133,630	66,815	332,395 SF		
CLUBHOUSE	8,030	5,270	---	13,300	---	29.53'
LEASING OFFICE	950	---	---	950	---	29.53'
TOTAL	140,930	138,900	66,815	346,645 SF		

DESCRIPTION	NUMBER	AREA (SF)	TOTAL AREA (SF)		
GARAGES	10	1,330	13,300		
8-CAR CARPORPTS	26	1,224	31,824		
6-CAR CARPORPTS	18	918	16,524		
TRASH ENCLOSURE	8	237	1,896		
TRASH COMPACTOR	1	358	358		
TOTAL			63,902 SF		
BUILDING TYPE	STORIES	1-BDR	2-BDR	3-BDR	TOTAL UNITS PER BLDG. TYPE
1A	TWO	8	8	2	18
1B	TWO	8	8	2	18
2	THREE	12	12	3	27
BUILDING TYPE	AMOUNT	1-BDR	2-BDR	3-BDR	TOTAL UNITS FOR PROJECT
1A	4	32	32	8	---
1B	3	24	24	6	---
2	7	84	84	21	---
TOTALS PROJECT MIX	14	140	140	35	315
	---	44.4%	44.4%	11.1%	100.0%



REFERENCE SITE LIGHTING PLAN



LIGHT FIXTURE SCHEDULE

ID	FOCUS	TYPE	MANUFACTURER	MODEL	FINISH	REMARKS
SITE						
S1	GENERAL	SITE LIGHT POLE	GARDCO	GULLWING	NATURAL ALUMINUM PAINT	CIRCULAR ALUMINUM POLES / CONCRETE CYLINDER BASE
S2	PATHWAYS / STAIRS	BOLLARD	GARDCO	BRM-827B	NATURAL ALUMINUM PAINT	42" HIGH / BEVEL-HEAD WITH BEIGE CONCRETE BASE
S3	GARAGES	WALL SCONCE	B-K LIGHTING	EL DORADO	SATIN ALUMINUM	2-1/4" DIA. / FLUSH CAP / 8" HIGH / UP & DOWN
S4	CARPORTS / TRASH	CEILING MOUNT	LUMINAIRE	VPP-84 (L.E.D.)	WHITE	MOUNT TO UNDERSIDE OF METAL ROOF DECK BETWEEN METAL JOISTS
S5	SITE WALLS / BUILDINGS	IN-GRADE UP	B-K LIGHTING	PRECISION HP2	BRUSHED STAINLESS STEEL	7" DIA. / UNIT SET FLUSH WITH CONCRETE PAVING
S6	POOL / FOUNTAINS	IN-WATER	HAYWARD	ASTROLITE	STAINLESS STEEL HOUSING	UNDER-WATER INSTALLATION ON SIDE OF POOL / BOTTOM OF FOUNTAINS
S7	STAIRS	IN-WALL DOWN	B-K LIGHTING	CORE-DRILL STEP STAIR	SATIN ALUMINUM	5" DIA. FACE PLATE / MOUNTED IN SITE WALLS AT STAIRS
S8	TRELLIS	DOWN-LIGHTS	B-K LIGHTING	EL DORADO	SATIN ALUMINUM	2-1/4" DIA. / FLUSH CAP / 8" HIGH / DOWN ONLY / MOUNT TO SIDE OF TRELLIS JOIST
S9	SITE WALLS / BUILDINGS	LANDSCAPE UP	B-K LIGHTING	YOSEMITE	BRONZE	4" DIA. / 8.5" LONG / CUT-OFF VISOR
S10	MONUMENT SIGN	LANDSCAPE UP	B-K LIGHTING	NITE STAR	BRONZE	2-1/4" DIA. / 4" LONG / FOCUS ON SIGNAGE
S11	MONUMENT SIGN	POLE-MOUNTED	GARDCO	DF5 SMALL FLOOD-LIGHT	NATURAL ALUMINUM PAINT	MOUNTED ON POLE AT 10'-0" ABOVE GRADE & FOCUSED ON ENTRY MONUMENT SIGN

BUILDINGS

B1	BALCONIES	WALL SCONCE	B-K LIGHTING	EL DORADO	SATIN ALUMINUM	2-1/4" DIA. / FLUSH CAP / 8" HIGH / UP & DOWN
B2	MAIN ENTRY	SOFFIT RECESSED	CREE	LR6-DR1000	WHITE	6" DIAMETER RECESSED / WHITE TRIM

Loving & Campos Architects Inc.
 RESTRICTED ARCHITECTURAL DRAWINGS

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REFERENCE SITE LIGHTING PLAN

SCALE: AS SHOWN
 DATE: 3/21/2011

REVISIONS:
 5/6/2011
 9/21/11

PROJECT NO. 10050



51) SITE LIGHT POLE



52) PATHWAY LIGHT BOLLARD



53) GARAGES
54) TRELLIS
55) APARTMENT BALCONIES



56) CARPORTS / TRASH ENCLOSURES



57) STAIRS



58) BUILDING UP-LIGHT



59) MONUMENT SIGN

LOVING & CAMPOS ARCHITECTS, INC.
245 YGNACIO VALLEY ROAD, WALNUT CREEK, CALIFORNIA 94596
(925) 944-1628 | WWW.LC-A-ARCHITECTS.COM



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LIGHT FIXTURES

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